



CITY OF RENTON

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
REPORT TO THE HEARING EXAMINER
EXHIBITS

Project Name: Senza Lakeview Preliminary Plat		Project Number: LUA16-000165, ECF, PP, SM	
Date of Meeting June 14, 2016	Staff Contact Clark H. Close Senior Planner	Project Applicant Jamie Schroeder, PE, CPH Consultants, 11431 Willows Rd NE, Suite 120, Redmond, WA 98052	Project Location 3907 Park Ave N, Renton, WA 98056

Exhibits:

- Exhibit 1 ERC Report
- Exhibit 2 Senza Lakeview Preliminary Plat Plan
- Exhibit 3 Neighborhood Detail Map
- Exhibit 4 Topography Map
- Exhibit 5 Preliminary Landscaping Plan (Sheets 1-5)
- Exhibit 6 Preliminary Grading Plan
- Exhibit 7 Preliminary Utility Plan
- Exhibit 8 Preliminary Drainage Control Plan
- Exhibit 9 Preliminary Road Profiles
- Exhibit 10 Preliminary Road Sections
- Exhibit 11 Geotechnical Engineering Study prepared by Earth Solutions NW, LLC (dated September 17, 2015)
- Exhibit 12 Preliminary Technical Information Report prepared by CPH Consultants (dated February 25, 2015)
- Exhibit 13 Trip Generation and Traffic Assessment prepared by Transportation Engineering NorthWest (TENW) (dated February 18, 2016)
- Exhibit 14 Arborist Report prepared by American Forest Management (AFM) (dated February 9, 2016)
- Exhibit 15 Critical Areas Determination Report prepared by Wetland Resources, Inc. (dated April 5, 2016)
- Exhibit 16 Response to WDFW Comments prepared by Wetland Resources, Inc. (dated April 15, 2016)
- Exhibit 17 Construction Mitigation Description
- Exhibit 18 Advisory Notes to Applicant
- Exhibit 19 Hearing Examiner Staff Recommendation (dated June 14, 2016)
- Exhibit 20 Renton School District Capacity
- Exhibit 21 Public Comment from Petett and staff's response letter (dated March 14, 2016)

- Exhibit 22 Public Comment from Gough and staff's response letter (dated March 15, 2016)
- Exhibit 23 Public Comment from Denney and staff's response letter (dated April 6, 2016)
- Exhibit 24 Public Comment from Qaasim and staff's response letter (dated April 6, 2016)
- Exhibit 25 Washington Department of Fish and Wildlife (WDFW) comments (dated March 16, 2016)
- Exhibit 26 Environmental "SEPA" Determination, ERC Mitigation Measures and Advisory Notes
- Exhibit 27 Advisory Notes to the Applicant: Traffic Concurrency
- Exhibit 28 Affidavit of posting and mailing
- Exhibit 29 CI-73 (Revised) Residential Building Height
- Exhibit 30 Easthaven Short Plat private driveway (Recording No. 9711109001)

ENVIRONMENTAL REVIEW COMMITTEE REPORT

ERC MEETING DATE: May 2, 2016

Project Name: Senza Lakeview Preliminary Plat

Project Number: LUA16-000165, ECF, PP, SM

Project Manager: Clark H. Close, Senior Planner

Owner: ICap Lakeview, LLC, 3535 Factoria Blvd SE, Suite 500, Bellevue, WA 98006

Applicant/Contact: Jamie Schroeder, PE, CPH Consultants, 11431 Willows Rd NE, Suite 120, Redmond, WA 98052

Project Location: 3907 Park Ave N, Renton WA 98056

Project Summary: The applicant is requesting Preliminary Plat, SEPA Environmental Review and a Shoreline Substantial Development Permit for approval of a 17-lot subdivision. The 3.83 acre site is located at 3907 Park Ave N within the Residential-6 zoning district. The parcels are proposed to be divided into 17 residential lots, a water quality tract, and an open space tract. The vault tract, located at the northwest corner of the site would discharge to the City storm water system and eventually flow to Lake Washington roughly 1/8 mile downstream. The applicant would dedicate 27,507 sf for public right-of-way to serve the new lots. The proposed lots would range in size from 7,000 sf to 9,531 sf with an average lot size of 7,470 sf. The plat would result in a net density of 5.3 du/ac. The project site is fronted by N 40th St to the north, Park Ave N to the east, and Lake Washington Blvd N to the west. Access to the site would be gained by a new public roadway (Road A) off of N 40th St.

There are moderate landslide hazards and steep slopes mapped in the area. Frontage improvements along Lake Washington Blvd N are within 200 ft of Lake Washington or the regulated shoreline (Lake Washington Reach D). There are no known indications of unstable soils in the immediate vicinity of the site. Soils consist of medium dense to dense, silty sand with gravel consistent with Vashon till. The site slopes generally east to west across the property at slopes ranging from 1-40% with a total fall of approximately 70 ft. The existing homes have been or are in various stages of being demolished. The applicant has proposed to retain five (5) of the 40 significant trees onsite. The applicant has submitted a Technical Information Report, Arborist Report, Traffic Assessment, and a Geotechnical Engineering Study with the application.

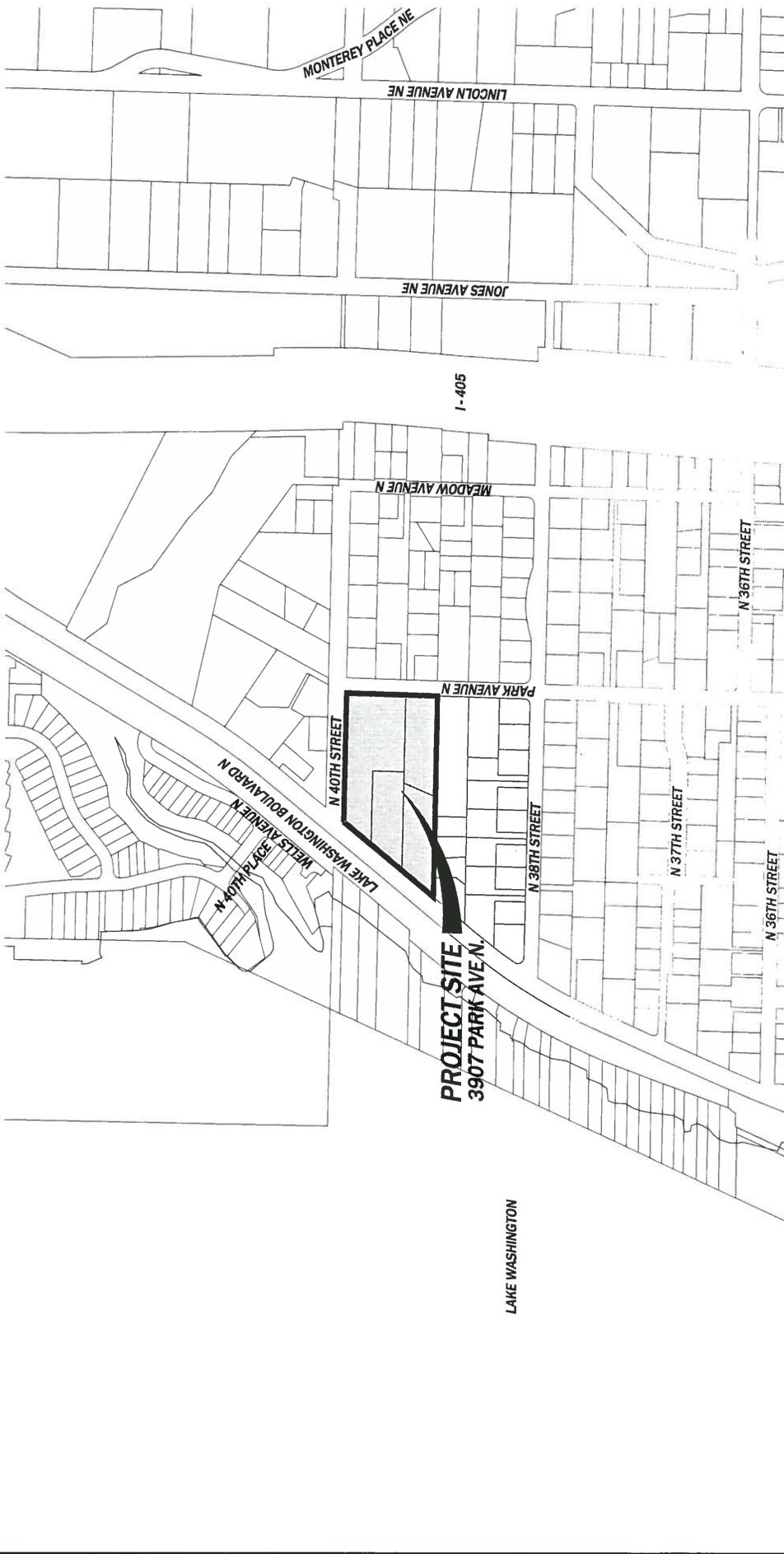
Site Area: 166,835 SF (3.83 acres)

STAFF RECOMMENDATION: Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance - Mitigated (DNS-M).

Full Document
Available Upon
Request

Exhibit 1

PTN. OF SW 1/4 OF NW 1/4 OF SEC. 32, TWP 24 N, R5E W.M.
SENZA LAKEVIEW
 CITY OF RENTON KING COUNTY, WASHINGTON



NEIGHBORHOOD DETAIL MAP

PREP BY: BARBARA ROGERS, CAP LAKENW, LLC
 APPLICANT: SCUS FACTORY BLDG. SE, SUITE 500
 PROJECT: SCUS FACTORY BLDG. SE, SUITE 500
 PROJECT SURVEYOR: JESS SURETY & MAPPING
 SURVEYOR: STEPHEN H. PHILLIPS, JR., PLS
 ADDRESS: 10000 10TH AVENUE N.W., WASH. WA 98052
 PHONE: (425) 823-5700 FAX: (425) 823-9700
 SHEET P2.00

DATE: AS NOTED PROJECT NO.: 139-15-001 SHEET 2 of 7



CP
 CONSULTANTS



TREE RETENTION WORKSHEET

1. Total number of trees over 6" diameter, or older or continuous trees to be retained on site.

2. Distribution of trees to be retained on site from the retention calculation.

3. Trees that are designated as:

- Trees in proposed public streets
- Trees in proposed private streets
- Trees in critical areas and buffers

4. Total number of retained trees:

- Trees
- Trees
- Trees
- Trees

5. Subtract trees from line 2:

- Trees
- Trees
- Trees

6. Net, to determine the number of trees that must be retained, multiply line 5 by:

- 1.1 for trees 6" to 14" dbh
- 1.2 for trees 15" to 24" dbh
- 1.3 for trees 25" to 34" dbh
- 1.4 for trees 35" to 44" dbh
- 1.5 for trees 45" to 54" dbh
- 1.6 for trees 55" to 64" dbh
- 1.7 for trees 65" to 74" dbh
- 1.8 for trees 75" to 84" dbh
- 1.9 for trees 85" to 94" dbh
- 2.0 for trees 95" to 104" dbh
- 2.1 for trees 105" to 114" dbh
- 2.2 for trees 115" to 124" dbh
- 2.3 for trees 125" to 134" dbh
- 2.4 for trees 135" to 144" dbh
- 2.5 for trees 145" to 154" dbh
- 2.6 for trees 155" to 164" dbh
- 2.7 for trees 165" to 174" dbh
- 2.8 for trees 175" to 184" dbh
- 2.9 for trees 185" to 194" dbh
- 3.0 for trees 195" to 204" dbh
- 3.1 for trees 205" to 214" dbh
- 3.2 for trees 215" to 224" dbh
- 3.3 for trees 225" to 234" dbh
- 3.4 for trees 235" to 244" dbh
- 3.5 for trees 245" to 254" dbh
- 3.6 for trees 255" to 264" dbh
- 3.7 for trees 265" to 274" dbh
- 3.8 for trees 275" to 284" dbh
- 3.9 for trees 285" to 294" dbh
- 4.0 for trees 295" to 304" dbh
- 4.1 for trees 305" to 314" dbh
- 4.2 for trees 315" to 324" dbh
- 4.3 for trees 325" to 334" dbh
- 4.4 for trees 335" to 344" dbh
- 4.5 for trees 345" to 354" dbh
- 4.6 for trees 355" to 364" dbh
- 4.7 for trees 365" to 374" dbh
- 4.8 for trees 375" to 384" dbh
- 4.9 for trees 385" to 394" dbh
- 5.0 for trees 395" to 404" dbh
- 5.1 for trees 405" to 414" dbh
- 5.2 for trees 415" to 424" dbh
- 5.3 for trees 425" to 434" dbh
- 5.4 for trees 435" to 444" dbh
- 5.5 for trees 445" to 454" dbh
- 5.6 for trees 455" to 464" dbh
- 5.7 for trees 465" to 474" dbh
- 5.8 for trees 475" to 484" dbh
- 5.9 for trees 485" to 494" dbh
- 6.0 for trees 495" to 504" dbh

7. List the number of 6" in diameter, or older or continuous trees over 6" in diameter that you are proposing to retain.

8. Subtract line 7 from line 6 for trees to be replaced.

9. Multiply line 8 by 1.2 for number of required replacement trees.

10. Determine if you have met the minimum replacement requirements:

- Number of replacement trees required
- Number of replacement trees provided

11. Double line 2 by line 8 for number of replacement trees.

12. If provided is 5 or greater, round up to the next whole number.

13. If provided is 4 or less, round down to the next whole number.

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NOTE: LOT TREES AND STREET TREES CAN COUNT TOWARD TREE REPLACEMENT

1 TREE RETENTION/REMOVAL PLAN

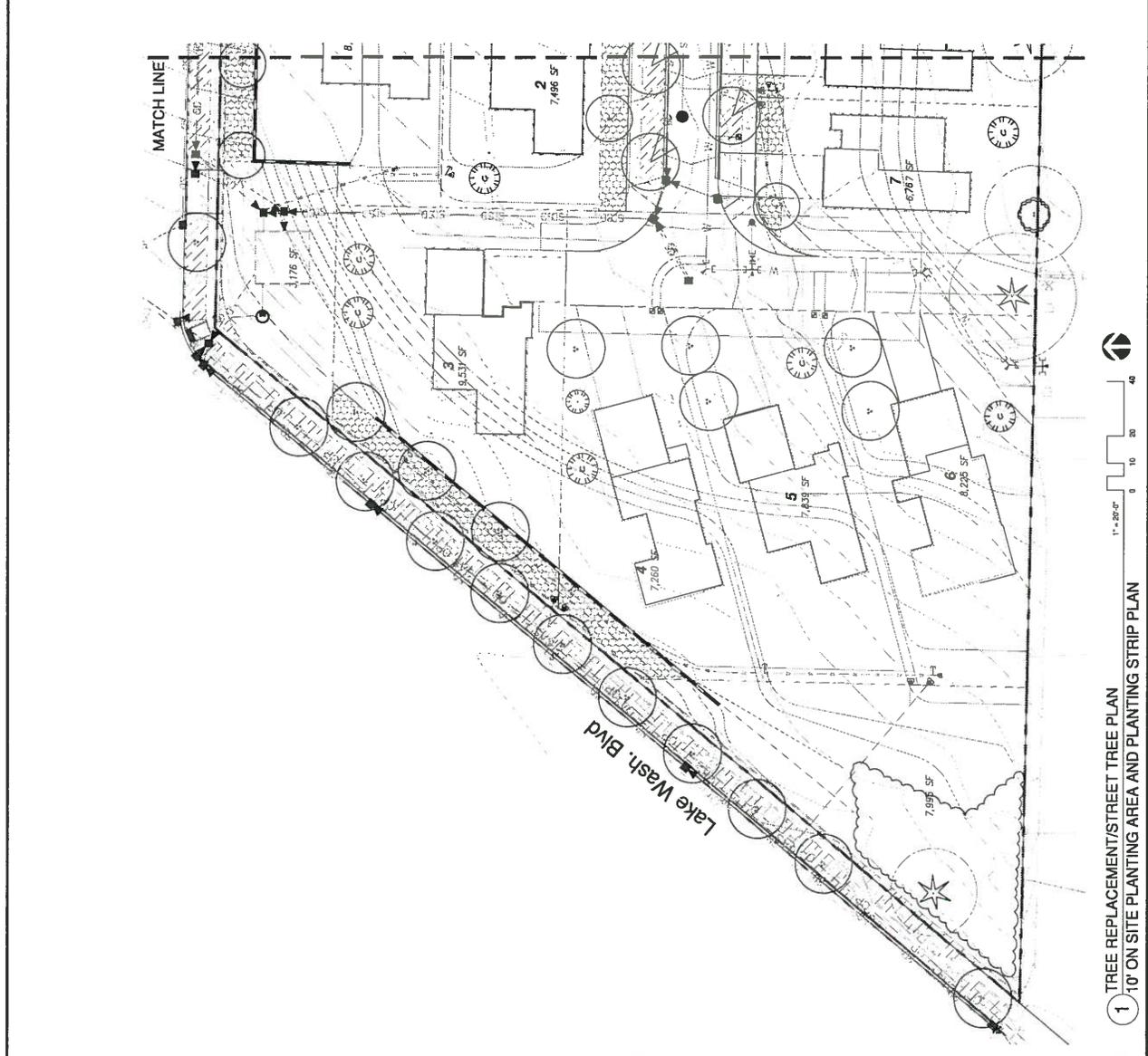
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STREET TREES AND LANDSCAPING REQUIRED WITHIN THE RIGHT OF WAY, PER I.D.C. 4-401.12.
 IF THESE LANDSCAPING PLANS ARE TO BE USED FOR A PROJECT, THE LANDSCAPING CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES AND ADJUST THE PLANTING PLAN AS NECESSARY.
 THESE PLANS DO NOT PRESENT A MAJOR STREET. TWO TREES ARE REQUIRED IN THE FRONT YARD. SEE TYPICAL LOT PLANTING PLAN SHEET L1.01.

PLANT SCHEDULE

SYMBOL	COMMON NAME	COMMENTS	SIZE	SPACING	COMMENTS
1	AMERICAN BIRCH	10' PLANTING AREA	2" CAL.	10'	
2	AMERICAN BIRCH	10' PLANTING AREA	2" CAL.	10'	
3	AMERICAN BIRCH	10' PLANTING AREA	2" CAL.	10'	
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SEE ANNOTATED REPORT AND CIVIL DRAWINGS FOR TREE PROTECTION FENCING AND NOTES
 SIGNIFICANT TREES - OFF SITE TO REMAIN
 SIGNIFICANT TREES - ON SITE TO REMAIN
 SIGNIFICANT TREES - ON SITE TO BE REMOVED



CONSTRUCTION NOTES:

CONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH THE PROJECT AS WELL AS ALL SURROUNDING UTILITIES PRIOR TO CONSTRUCTION.

ALL BEDS TO BE WEED AND DEBRIS FREE PRIOR TO SOIL PREPARATION. ALL SHRUB BEDS TO BE 8" BELOW FINISHED GRADE TO ALLOW FOR TOPSOIL AND MULCH.

NOTIFY OWNER IF EXISTING SOIL CONDITIONS WILL PROVE DETRIMENTAL TO PLANT HEALTH, SUCH AS EXCESSIVE CLAY SOIL, HARDPAN SOIL, POOR DRAINAGE, OR EXCESSIVE GRAVEL.

ADD 3 TO 5% MORE RESIN TO CONCRETE SAND MIXTURES. PLANTING BEDS MUST BE 12" DEEP. EXISTING SOIL TO BE 12" DEEP. ADD 3 TO 5% MORE INCHES OF COMPACT SAND MIXTURE TO BE 12" DEEP.

AT INDIVIDUALLY PLANTED TREES, OUTSIDE OF CONTIGUOUS PLANTING AREAS, STAKE PLANTING LOCATION FOR APPROVAL PRIOR TO CONSTRUCTION. CLEAR AND PREPARE AN AREA 72" IN DIAMETER PER SOIL NOTES ABOVE.

PLANT TREES PER DETAIL #1 THIS SHEET. PLANT SHRUBS PER DETAIL #2. MULCH PLANTING BEDS AND IN 72" DIAMETER AREA AROUND EACH INDIVIDUAL TREE, KEEPING MULCH 2" FROM TRUNK OF TREE.

MULCH TO BE FREE OF GARBAGE AND WEEDS AND MAY NOT CONTAIN EXCESSIVE RESIN, TANNIN, OR OTHER MATERIAL DETRIMENTAL TO PLANT GROWTH.

GENTLY LOOSEN ROOTS OF CONTAINER STOCK THAT IS ROOTBOUND PRIOR TO PLANTING.

FERTILIZE WITH BEST PRACTICES FERTILIZER, AVAILABLE FROM 45.028.4.054 ONE POUND PER 100 GALLONS OF WATER. 14 PER TREE. EVENLY SPACE PACKS AROUND ROOTBALL 8" FROM SOIL SURFACE.

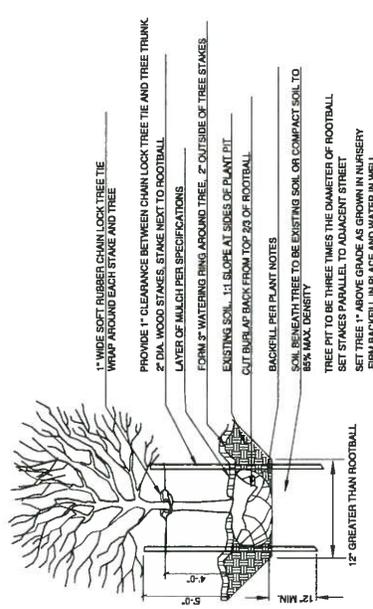
ALL PLANTS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK. ANLA PROVIDE ONE YEAR WARRANTY STARTING FROM DATE OF FINAL ACCEPTANCE.

COORDINATE ALL WORK WITH GENERAL CONTRACTOR.

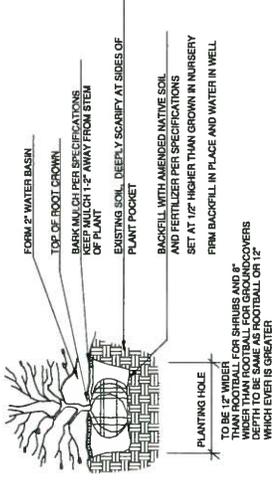
PLANT GROUNDCOVERS A MINIMUM 24" FROM CONCRETE OR ASPHALT SURFACES.

IF TREE IS 4" OR CLOSER, HORIZONTALLY FROM A PAVED SURFACE, INSTALL A 6" BY 24" SHEET OF PLASTIC ROOT BARRIER BETWEEN TREE AND PIPE OR PAVED SURFACE. CENTER 6" SECTION ON TREE TRUNK. SET TOP OF BARRIER AT TOP OF SOIL SURFACE, BELOW MULCH LEVEL. SET BARRIER AT LEAST 12" FROM TREE TRUNK. SEE DETAIL #3 FOR BARRIER SHEETING OR SIMILAR PRODUCT, AVAILABLE FROM FRANK'S IRRIGATION COMPANY 208-523-7868.

PLANTINGS WILL REQUIRE SUPPLEMENTAL WATER THROUGH AT LEAST THEIR FIRST GROWING SEASON.



1 TREE PLANTING DETAIL SECTION N.T.S.



2 SHRUB and GROUNDCOVER PLANTING DETAIL SECTION N.T.S.

NO.	DATE	REVISION
1	3-26-2018	ORIGINAL SUBMITTAL
BY		
CK		

gpa
 GWA Landscape Architects
 1011 1/2 Ave. N
 Suite 100
 2402323111 THE BALLROOM
 9740 Lakeview Avenue, 200
 RENTON, WA

SENZA LAKEVIEW SUBDIVISION
 PLANTING NOTES AND DETAILS
 1129 N 40th St
 RENTON, WA

PROJECT NO.
DRAWING L1.05
SHEET 5 OF 5

PTN. OF SW 1/4 OF NW 1/4 OF SEC. 32, TWP 24 N., R5E W.M.
SENZA LAKEVIEW
 CITY OF RENTON KING COUNTY, WASHINGTON

LEGEND

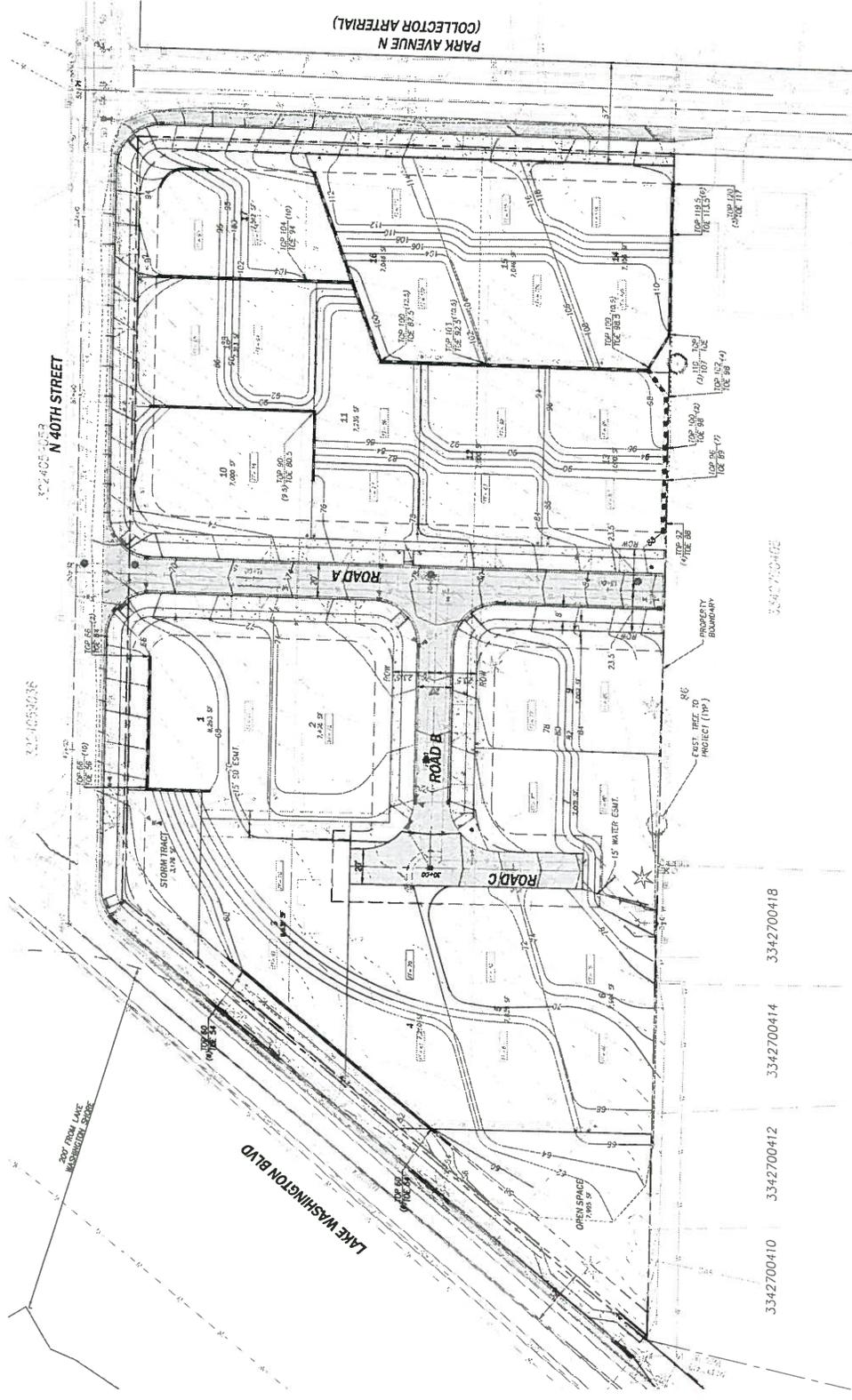
- UP/TOE ELEVATION AND HEIGHT
- RETAINING WALL
- LIMITS OF DISTURBANCE
- STORM DRAIN PIPE
- 5D CATCH BASIN
- BLOS. 30 SERVICE COWL
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- PROPOSED CONTOUR

APPROX. EARTHWORK QUANTITIES

EARTHWORK QUANTITIES WERE ESTIMATED USING A GRID SYSTEM AND THE FOLLOWING VALUES ARE APPROXIMATE AND PROVIDED TO ILLUSTRATE GENERAL EARTHWORK QUANTITIES. CONTRACTOR SHALL OBTAIN ACCURATE DATA INCLUDING ESTIMATES OF ANY WALL, FOUNDATION, AND PAVEMENT QUANTITIES.

FILL: 6,590 CY
 EXCAVATION: 1,500 CY (TBL)
 NET: 5,090 CY

NOTE: VALUES ARE NOT FOR CONSTRUCTION BID PURPOSES. THE CONTRACTOR SHALL USE THEIR OWN METHODS AND METHODS TO ESTIMATE EARTHWORK QUANTITIES.



PRELIMINARY GRADING PLAN

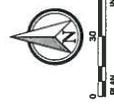
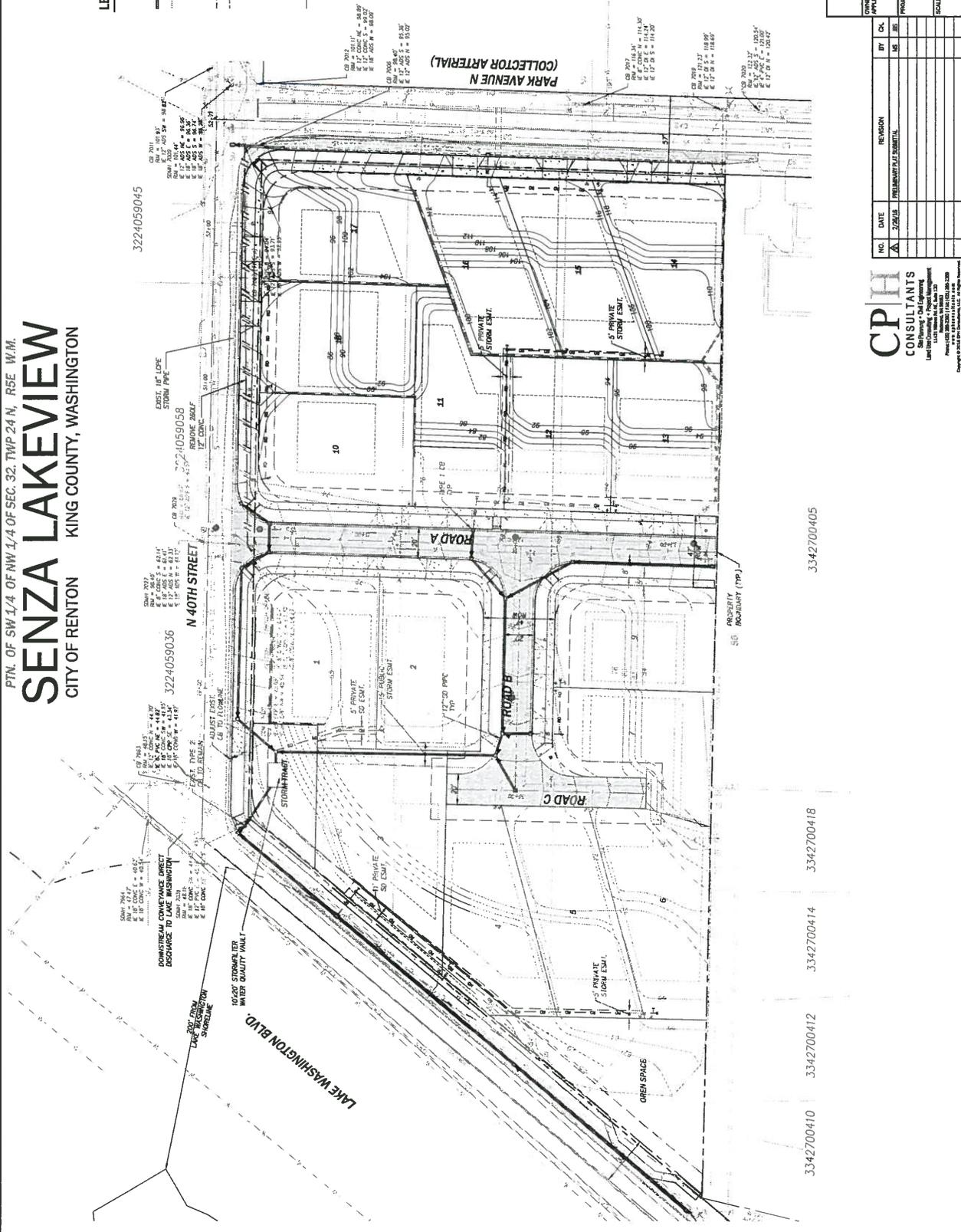
OWNER	BARBARA RODGERS, KOP LAKEVIEW, LLC
ADDRESS	3015 FACTORY BLVD. SE. SUITE 500
PHONE	(425) 279-8030
DESIGNER	CPH CONSULTANTS
PROJECT NO.	15041 N. 40TH STREET, RENTON, WA 98052
PHONE	(425) 823-5700 FAX: (425) 823-5700
SCALE	PROJECT NO. SHEET P3.00
AS NOTED	159-15-001
	3 OF 7



PTN. OF SW 1/4 OF NW 1/4 OF SEC. 32, TWP. 24 N., R5E, W. 10 M.
SENZA LAKEVIEW
 CITY OF RENTON KING COUNTY, WASHINGTON

LEGEND

- TYPE 1 STORM DRAINAGE CATCH BASIN
- TYPE 2 STORM DRAINAGE CATCH BASIN
- STORM DRAINAGE PIPE
- SANITARY SEWER MAIN
- STANDARD PRECAST SEWER MANHOLE
- SIDE SEWER SERVICE W/ CLEANOUT
- WATER MAIN
- WATER SERVICE (PVC)
- FIRE HYDRANT (FH)
- GATE VALVE
- WATER METER
- YARD DRAIN
- ROOF DRAIN PIPE



PRELIMINARY DRAINAGE CONTROL

DESIGNER	APPLICANT	PROJECT SURVEYOR	SCALE
CPH CONSULTANTS	SENZA LAKEVIEW LLC	STEPHEN H. PHILLIPS, P.E.	AS NOTED
DATE	PROJECT NO.	SHEET NO.	OF
7/28/18	3342700405	10	7

CPH CONSULTANTS
 San Planning & Design Engineering
 10000 1st Avenue, Suite 100
 Everett, WA 98203
 Phone: (425) 399-3322 Fax: (425) 399-3328
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PREPARED FOR

iCAP EQUITY, LLC

September 17, 2015



Keven D. Hoffmann, E.I.T.
Project Engineer



Raymond A. Coglas, P.E.
Principal

**GEOTECHNICAL ENGINEERING STUDY
PROPOSED RESIDENTIAL DEVELOPMENT
3908 & 3916 LAKE WASHINGTON
BOULEVARD NORTH &
3907 PARK AVENUE NORTH
RENTON, WASHINGTON**

ES-4088

**Earth Solutions NW, LLC
1805 – 136th Place Northeast, Suite 201
Bellevue, Washington 98005
Phone: 425-449-4704 Fax: 425-449-4711
Toll Free: 866-336-8710**

EXHIBIT 11

**Full Document
Available upon Request**



11431 WILLOWS ROAD NE, SUITE 120
REDMOND, WA 98052
P: (425) 285-2390 | F: (425) 285-2389
www.cphconsultants.com

SENZA LAKEVIEW

RENTON, WASHINGTON

PRELIMINARY TECHNICAL INFORMATION REPORT

February 25, 2016

Prepared For:

**iCap Lakeview, LLC
3535 Factoria Blvd SE, Suite 500
Bellevue, WA 98006**

Prepared By:

**CPH Consultants
Jamie B. Schroeder, PE
Bryce Bessette, EIT
CPH Project No. 0139-15-001**



EXHIBIT 12

Site Planning
Civil Engineering
Project Management
Land Development Consulting

MEMORANDUM

**Full Document
Available upon Request**

DATE: February 18, 2016

TO: Clark Close
City of Renton

FROM: Jeff Schramm
TENW

SUBJECT: Trip Generation and Traffic Assessment for the proposed
Kennydale Residential
TENW Project #5119

This memorandum documents the traffic assessment conducted for the proposed 17-unit Kennydale Residential project including a project description, trip generation estimate, project trip distribution, and impact fee calculation.

Project Description

The proposed Kennydale residential project site is located east of Lake Washington Boulevard N, west of Park Avenue N, and south of NE 40th Street in Renton as shown in the Attachment A site vicinity. The project proposes 17 single-family detached dwelling units on a site that is currently occupied by three single-family homes, all of which would be removed. Vehicular access to the site would be provided via a new proposed residential road on NE 40th Street. Full project buildout is expected in 2017. A preliminary site plan is provided in Attachment B.

Trip Generation

The trip generation estimate for the proposed Kennydale Residential project was based on trip rates and equations published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th edition for Land Use Code (LUC) 210 (Single-Family Detached Housing). The weekday daily, AM and PM peak hour trip generation estimates associated with the proposed project are summarized in Table 1.

**Table 1
Trip Generation Summary – Kennydale Residential**

Time Period	Net New Trips Generated		
	In	Out	Total
Weekday Daily	82	82	164
Weekday AM Peak Hour	3	8	11
Weekday PM Peak Hour	10	7	17



11415 NE 128th St Suite 110 Kirkland WA 98034 • (425)820-3420 • FAX (425)820-3437
www.americanforestmanagement.com

**ARBORIST REPORT/TREE PLAN
FOR
KENNYDALE PROJECT
PARCELS 3342700415, --420, --425, --427
RENTON, WA**



February 9, 2016

EXHIBIT 14



Delineation / Mitigation / Restoration / Habitat Creation / Permit Assistance

9505 19th Avenue S.E.
Suite 106
Everett, Washington 98208
(425) 337-3174
Fax (425) 337-3045

CITY OF RENTON
RECEIVED

APR 15 2016

DEVELOPMENT
SERVICES

April 5, 2016

iCap Equity, LLC
Attn: Barbara Rodgers
10900 NE 8th St, # 1000
Bellevue, WA 98004

**RE: Critical Areas Determination Report for King County parcels 3342700415,
420, 425, 427**

INTRODUCTION

iCap Equity, LLC contracted Wetland Resources, Inc. (WRI) to perform a wetland determination within and surrounding the aforementioned 3.83-acre parcels, located in the City of Renton, WA. The purpose of the visit was to evaluate and locate jurisdictional wetlands and streams on and in the vicinity of the property, to document the findings in a brief letter, and to address off-site wetland concerns brought up during the SEPA Environmental Review public comment period. The site visit occurred on April, 1 2016. Access is from an existing driveway extending south from N 40th St. The Public Land Survey System (PLSS) locator for the subject property is Section 32, Township 24N, Range 05E, W.M.

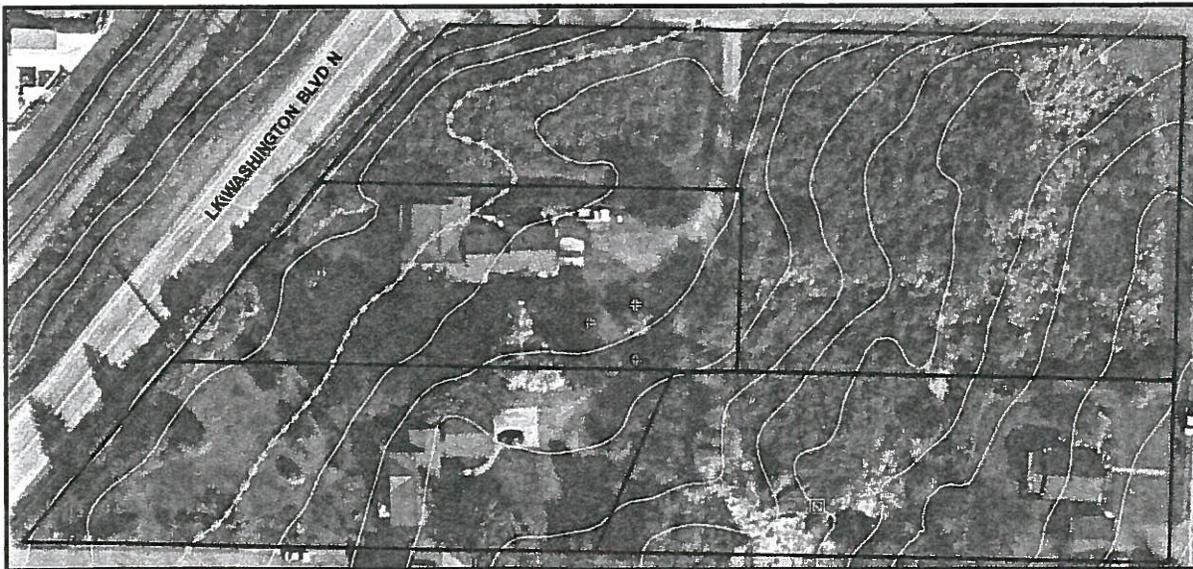


Figure 1: Aerial Overview of the Subject Property



Delineation / Mitigation / Restoration / Habitat Creation / Permit Assistance

9505 19th Avenue S.E.
Suite 106
Everett, Washington 98208
(425) 337-3174
Fax (425) 337-3045

CITY OF RENTON
RECEIVED

APR 15 2016

DEVELOPMENT
SERVICES

April 15, 2016

iCAP Equity LLC
Attn: Barbara Rodgers
10900 NE 8th Street, #1000
Bellevue, WA 98004

RE: "On Hold" Notice for Senza Lakeview Preliminary Plat, LUA16-000165, ECF, PP, SM

Introduction

Wetland Resources, Inc. was hired to respond to a recent review comment letter (On Hold Notice, dated April 5th, 2016) sent by City of Renton Planning Staff (Clark Close) to Jamie Schroeder (CPH Consultants). The "on hold" letter asks the applicant to respond to Washington Department of Fish and Wildlife comments made as part of their review of the SEPA checklist prepared for this project. WDFW made two substantive comments, which are paraphrased as follows:

- Confirm that the outfall meets WAC 222-660-260 rules for the protection of fish life.
- Locate the outfall above the ordinary high water mark for Lake Washington or outfit with a device to prevent entry of fish.

Background Information

The stormwater plan for the Senza plat ties in with the existing storm system upstream of the confluence with Lake Washington. Flows from the Senza property will enter an open channel on the east side of Lake Washington Blvd N and travel northeast to the intersection of N 40th street and Lake Washington Blvd N. The channel enters a catch basin and flows subsurface to the confluence with Lake Washington, located in the vicinity of Tract 051850TR-A. The outfall is an 30-inch-diameter ductile iron pipe that was constructed in 2007 as part of the Barbee Mill subdivision, and appears to be part of the municipal storm system.

Field Investigation

On April 12, 2016, Wetland Resources, Inc. visited the location where the existing outfall meets Lake Washington. The purpose of the site visit was to determine the ordinary high water mark (OHWM) of Lake Washington relative to the outfall pipe that will convey flows from the project site. If the invert elevation of the pipe is lower than the elevation of the OHWM, then a fish exclusion device would be necessary.

Proposed Construction Dates

Grading and road construction will start upon approval of construction plans fall of 2016.

Hours of Operation for Single Family Construction Site

Per City of Renton:

Monday – Friday:	7am – 8pm
Saturday:	9am – 8pm
Sunday:	None

Proposed Hauling/Transportation Routes

All equipment materials and laborers will enter the site off N 40th Street. A detailed haul route will be provided by the contractor selected to construct the improvements. It is anticipated that the haul route would be via I-405 to Exit 7 (NE 44th Street) west from the off ramp. Heading southwest on NE 44th Street the roadway turns into Lake Washington Blvd, and then N 40th Street if a few hundred feet down the road on the east side of Lake Washington Blvd.

Measures to be implemented to minimize dust, traffic and transportation impacts, mud, noise, and other noxious characteristics

Dust: Best management practices will be used to minimize dust on the construction site. Water trucks or metered fire hoses will be used as needed to wet down the areas used by construction equipment. Disturbed slopes will be hydroseeded per the Erosion/Sedimentation Control Plan to control dust.

Traffic: During road and building construction, the traffic entering and leaving the site will consist of subcontractors and deliveries. When arriving for work, the subcontractors will be travelling opposite the majority of traffic leaving the Senza Lakeview Neighborhood, and materials are primarily delivered at off peak hours during the day. None of these operations are anticipated to have a significant impact on the peak or non-peak hour traffic in the area.

Any special hours proposed for construction or hauling

There are no special hours proposed for construction or hauling without prior approval from the City of Renton.

Preliminary Traffic Control Plan

General access to the property will be from N 40th Street. It is anticipated that the existing roadway will remain open during construction and access to the properties along N 40th Street will be maintained. Traffic Control is anticipated to consist of occasional single lane closures along Lake Washington Blvd, N 40th Street, and Park Avenue N. A standard one-lane, two-way traffic control with flaggers may be used similar to WSDOT Plan TC1.

ADVISORY NOTES TO APPLICANT
LUA16-000165



Application Date: March 04, 2016
Name: Senza Lakeview

Site Address: 3916 Lake Washington Blvd N
Renton, WA 98056-1581

PLAN - Planning Review - Land Use

Version 1 | April 28, 2016

Police Plan Review Comments	Contact: Cyndie Parks 425-430-7521 cparks@rentonwa.gov
Recommendations: Minimal impact on police services.	

Community Services Review Comments	Contact: Leslie Betlach 425-430-6619 LBetlach@rentonwa.gov
Recommendations: 1. Parks Impact fee per Ordinance 5670 applies. 2. Access to the existing Bike Lane(s) along Lake Washington Blvd. shall be maintained during construction. If necessary, coordinate and sign a detour route. Restore to original /better condition upon completion. 3. Street trees: Space trees 50 feet on center. Each street should contain a different tree species using trees that attain a large mature height. Space trees no closer than 40 feet from intersections and stop signs and 30 feet from street lights.	

Fire Review - Building Comments	Contact: Corey Thomas 425-430-7024 cthomas@rentonwa.gov
Recommendations: Environmental Impact Comments: 1. The fire impact fees are applicable at the rate of \$495.10 per single family unit. This fee is paid at time of building permit issuance. Credit will be granted for the existing homes to be retained. Code Related Comments: 1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. It appears there is adequate fire flow in this area. There is no existing water main in Lake Washington Boulevard North. 2. Fire department apparatus access roadways are required to be a minimum of 20 feet wide fully paved, with 25 feet inside and 45 feet outside turning radius. Fire access roadways shall be constructed to support a 30 ton vehicle with 322 psi point loading. Access is required within 150 feet of all points on the buildings. Approved apparatus turnarounds are required for dead end roads exceeding 150 feet. Hammerhead turnarounds are allowed for dead end streets up to 300 feet long.	

Planning Review Comments	Contact: Clark Close 425-430-7289 cclose@rentonwa.gov
Recommendations: 1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division. 2. New single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays. 3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit. 4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared. 5. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained. 6. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING - Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees. 7. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.	

Engineering Review Comments	Contact: Ann Fowler 425-430-7382 afowler@rentonwa.gov
Recommendations: I have reviewed the application for the Senza Lakeview Subdivision at 3908 & 3916 Lake Washington Boulevard North and 3907 Park Avenue North (APN's 334270 0415, 0425, 0420, and 0427 (vacant land)) and have the following comments:	

PLAN - Planning Review - Land Use

Version 1 | April 28, 2016

Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

EXISTING CONDITIONS

Water Water service is provided by the City of Renton.

Sewer Wastewater service is provided by the City of Renton.

Storm The existing properties do not contain stormwater facilities. There are stormwater mains located in Lake Washington Blvd, N 40th Street and Park Avenue N.

CODE REQUIREMENTS

WATER

1. The proposed water main improvements as shown on the composite utilities civil plan submitted with the Land Use Application within the site provides the required 8 inch water main extension into the development, connecting the existing 12 inch water main located in N 40th Street and the existing 8 inch water main located in an easement along the south property line.

Staff Comments:

- i. The proposal shows water service lines connecting to lots 3 and 4 as being curved and installed from the 8 inch main located in Road B. Water service lines shall not be installed curved.
 - ii. Extend the 8 inch water main to the north end of the hammerhead on Road B and add an 8 inch end cap and 2 inch blow off.
 - iii. The water main extension from the 8 inch water main from the south property line shall not be installed along the common lot line. A 5 foot offset from the property line is required.
2. Installation of fire hydrants within 300 feet of each lot is required by Renton Fire Prevention Department. The number and location of new hydrants will be dependent upon the finished square footage of the homes.
3. Each lot shall have a separate meter. The project proposes one 1 inch water service line and meter to each lot, for a total of fourteen (14) new domestic water service lines and meters (credit will be given for the (3) water service lines and meters serving the existing properties).
4. The development is subject to applicable water system development charges and meter installation fees based on the size of the water meters.
- a. Water system development charges for each proposed 1 inch domestic water service is \$3,245.00 per meter or \$55,165.00 for (17) 1 inch meters.
 - b. A redevelopment credit of the water system development charges in the amount of \$3,245.00 will be applied to each of the (3) existing ¾ inch meters to 3908 and 3916 Lake Washington Blvd and 3907 Park Ave N if they are abandoned and capped at the main line.
 - c. The total water SDC fee is \$45,430.00. This is payable at construction permit issuance.
5. Water service installation charges for each proposed 1 inch water service is \$2,850.00 per meter. The total water service installation fee is \$48,450.00. This is payable at construction permit issuance.
6. Drop in meter fee is \$460.00 per meter. The total water drop in meter fee is \$7,820.00. This is payable at issuance of the building permit.
7. Additional water system development charges and water meter charges will apply if a landscape irrigation meter is required and is based on the size of the meter.

SEWER

1. There is an 8 inch sanitary sewer main in Park Ave N, an 8 inch main in N 40th Street and a 10 inch main in Lake Washington Blvd. The applicant has proposed an 8 inch extension from the sanitary sewer main in N 40th Street to provide sanitary sewer service to each of the internal lots. The project proposes to connect lots 3 through 6 to the existing 10 inch main in Lake Washington Blvd, lots 14 through 16 to the existing 8 inch main in Park Ave N and lots 17 and 18 to the existing 8 inch main in N 40th Street.

Staff Comments:

- i. Each lot shall be served by an individual side sewer, dual side sewers are not allowed.
 - ii. The side sewers to serve lots 5 and 6, which are shown to be installed through the Open Space Tract, shall be in a dedicated 15 foot sewer easement.
2. All existing side sewers will be required to be cut and capped during demolition of the properties. New side sewers shall be installed to serve each individual property.

Staff Comments:

- i. There are existing concrete side sewers not serving any homes which were installed on N 40th Street and Lake Washington Blvd as part of the City's LID project (see As built #S 0142) and shall be cut and capped at the main as part of the project development.
3. The development is proposing connection of 14 new single family residences (17 new single family homes, 3 existing homes to be removed). Credit will be provided for the 3 existing homes connected to the City sewer service.
4. The development is subject to applicable wastewater system development charges based on the size of the new domestic water to serve the project.
- a. SDC fee for a 1 inch meter is \$2,242.00 per meter. The total fee is \$38,114.00 for (17) 1 inch meters.
 - b. A redevelopment credit of the wastewater system development charges in the amount of \$2,242.00 will be applied to each of the (3)

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Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

existing meters to 3908 and 3916 Lake Washington Blvd and 3907 Park Ave N if they are abandoned and capped at the main line.

c. The total water SDC fee is \$31,388.00. This is payable at construction permit issuance.

SURFACE WATER

1. A surface water development fee of \$1,485.00 per new single family residence will apply. The project proposes the addition of 14 new residences (17 new single family homes, 3 existing homes to be removed). The estimated total fee is \$20,790.00. This is subject to final design and payable prior to issuance of the utility construction permit.

2. A drainage report, dated February 25, 2016, was submitted by CPH Consultants with the site plan application. Based on the City of Renton's flow control map, this site falls within the Peak Rate Flow Control Duration Standard for Existing Conditions. The development is subject to Full Drainage Review in accordance with the 2009 King County Surface Water Design Manual (KCSWDM) and the City of Renton Amendments to the KCSWDM. All core requirements and five of the six special requirements have been discussed in the provided drainage report.

Staff Comments:

i. Applicant shall include discussion of core requirement #6 in the final drainage report. CR #6 relates to the aquifer protection area, which is not applicable to this site, but it should be noted as such in the report.

3. Runoff from the existing site includes three single family residences where no stormwater infrastructure currently exists on site. Runoff from the site sheet flows north and west into a ditch and catch basin at the intersection of Lake Washington Blvd N and N 40th St at the northwest corner of the site. It then flows approximately 540 feet through a series of concrete pipes until it discharges into Lake Washington.

4. A geotechnical report, dated September 17, 2015, completed by Earth Solutions NW, LLC for the site has been provided. The report discusses the soil and groundwater characteristics of the site and provides recommendations for project design and construction.

Geotechnical recommendations presented in this report discount the use of full infiltration due to the underlying dense glacial till soil.

5. The project site is located within the East Lake Washington drainage basin and the flowpath from the project site discharge point is less than a half mile to the 100 year floodplain of Lake Washington and qualifies for the direct discharge exemption in accordance with Section 1.2.3.1 of the City Amendments to the KCSWDM and must adhere to all requirements thereof.

Staff Comments:

i. The conveyance system analysis provided in the preliminary Technical Information Report (TIR) does not provide a complete analysis of the system to the outfall in Lake Washington in accordance with the requirements for the direct discharge exemption as outlined in Section 1.2.3 of the 2009 KCSWDM. Applicant shall provide a complete conveyance system analysis, including new conveyance pipes within the proposed development and existing conveyance pipes from the development boundary to the outfall in Lake Washington. Applicant shall demonstrate the outfall is adequately sized to support the added run off from the development.

6. The development is required to provide basic water quality treatment prior to discharge. Project water quality treatment will consist of conveyance to a Contech StormFilter system prior to connection to the existing 18 inch concrete stormwater main located at the intersection of Lake Washington Blvd and N 40th St.

Staff Comments:

i. Presettling shall be provided per Section 6.5.1 of the 2009 KCSWDM.

ii. The conveyance and water quality systems shall be designed in accordance with the KCSWDM and the City of Renton Amendments to the manual that is current at the time of utility construction permit application.

iii. A maintenance access road is required to the stormwater facilities in the proposed storm tract and shall be in accordance with the design requirements outlined in the KCSWDM.

7. No downstream flooding or erosion issues were identified in the drainage report.

Additional Staff Comments:

i. Storm drainage pipes shall not be located beneath the landscape strip or sidewalk. Relocate the lines into the paved roadway and provide solid round locking lids where required.

ii. Roof drains require a minimum 10 foot easement. Applicant shall provide details on how the roof drains will be connected into the public storm drain system. Such connections shall be in accordance with City of Renton standards and the 2009 KCSWDM.

iii. The development shall not create protected slopes as defined by RMC 4 3 050.

iv. Grading shall be in accordance with RMC 4 4 060.

TRANSPORTATION

1. The proposed development fronts Lake Washington Boulevard North along the west property lines. Lake Washington Boulevard is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 60 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 11.5 feet of right of way would be required.

However, the City's transportation group has determined and will support a lesser standard to match the established standard street section for Lake Washington Blvd N. The City established standard street section for Lake Washington Blvd N, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 8 foot sidewalks, and 0.5 foot

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Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

curb. This recommendation results in a total right of way width of 69 feet, requiring 4.5 feet of ROW dedication. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outline in City code 4 9 250C5d.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The plat shows 2 feet of dedication along Lake Washington Blvd N. and a 5 foot sidewalk. The plans will need to be updated to provide the required 4.5 feet of dedication and 8 foot sidewalk for submittal of the construction permit application.

iii. The established street section does not include a parking lane. If parking is required for the development along Lake Washington Blvd N, additional ROW dedication will be required.

2. The proposed development fronts North 40th Street along the north property lines. North 40th Street is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 60 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 11.5 feet of right of way would be required. However, the City's transportation group has determined and will support a lesser standard to match the established street section for North 40th Street. The City established street section for North 40th Street, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 5 foot sidewalks, and 0.5 foot curb. This recommendation results in a total right of way width of 63 feet, requiring 1.5 feet of ROW dedication. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outline in City code 4 9 250C5d.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The proposed street section does not include a parking lane. Since parking is not allowed within the development, parking for the development can be located along North 40th Street. The designed street section will need to be revised to include one 6 foot parking lane on the development side of the street. ROW width, as dedicated, will provide sufficient pavement width for one 6 foot parking lane on the south side of the roadway.

3. The proposed development fronts Park Avenue North along the east property lines. Park Avenue North is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 50 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 16.5 feet of right of way would be required. However, the City's transportation group has determined and will support a lesser standard to match the established street section for Park Ave N. The City established street section for Park Ave N, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 5 foot sidewalks, and 0.5 foot curb. This recommendation results in a total right of way width of 63 feet, requiring 6.5 feet of ROW dedication.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The proposed street section does not include a parking lane. Since parking is not allowed within the development, parking for the development can be located along Park Avenue North. The designed street section will need to be revised to include one 6 foot parking lane on the development side of the street. ROW width, as dedicated, will provide sufficient pavement width for one 6 foot parking lane on the west side of the roadway.

4. Two limited residential access roads (Road A and Road B) with 20 feet of paved roadway width and a hammerhead turnaround at the end of Road B have been proposed as the primary access for the internal lots of the development.

Staff Comments:

i. The hammerhead turnaround shall be designed in accordance with City of Renton Fire Department standards.

ii. Emergency services access within 150 feet of all homes via a 20 foot paved roadway is required. As such, parking is not allowed along the internal access road proposed for the project.

5. ADA access ramps shall be installed at all street crossings. Ramps are not shown at the intersection of Road B and Road C. A companion ramp is required along the east side of Road A for the ramp located at the southwest corner of the intersection of Road A and Road B. Ramps shall be oriented to provide direct pedestrian crossings. Additional ramps are required at all corner intersections (two ramps per curb return). Driveway locations may need to be adjusted to accommodate the required access ramps.

6. Street lighting and street trees are required to meet current city standards. Lighting plans were not submitted with the land use application and will be reviewed during the construction utility permit review.

7. A traffic analysis dated February 18, 2016, was provided by Transportation Engineering Northwest (TENW). The site generated traffic volumes were calculated using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, (2009).

Based on the calculations provided, the proposed development would average 164 new daily vehicle trips. Weekday peak hour AM trips would generate 11 new vehicle trips, with 8 vehicles leaving and 3 vehicles entering the site. Weekday peak hour PM trips would generate

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Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

17 new vehicle trips, with 10 vehicles entering and 7 vehicles existing the site. As detailed in the report the proposed project is not expected to lower the levels of service of the surrounding intersections included in the traffic study. Increased traffic created by the development will be mitigated by payment of transportation impact fees.

8. Refer to City code 4 4 080 regarding driveway regulations. Driveways shall be designed in accordance with City standard plans 104.1 and 104.2.

9. Payment of the transportation impact fee is applicable on the construction of the development at the time of application for the building permit. The current rate of transportation impact fee is \$2,951.17 per dwelling unit for single family homes. The project proposes the addition of 14 new residences (17 new single family homes, 3 existing homes to be removed). The estimated total fee is \$41,316.38. Traffic impact fees will be owed at the time of building permit issuance. Fees are subject to change. The transportation impact fee that is current at the time of building permit application will be levied.

10. Paving and trench restoration shall comply with the City's Trench Restoration and Overlay Requirements.

GENERAL COMMENTS

1. Adequate separation between utilities shall be provided in accordance with code requirements.

a. 7 ft minimum horizontal and 1 ft vertical separation between storm and other utilities is required with the exception of water lines which require 10 ft horizontal and 1.5 ft vertical.

2. All construction utility permits for drainage and street improvements will require separate plan submittals. All utility plans shall confirm to the Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans.

3. A landscaping plan shall be included with the civil plan submittal. Each plan shall be on separate sheets.

4. All electrical, phone, and cable services and lines serving the proposed development must be underground. The construction of these franchise utilities must be inspected and approved by a City of Renton inspector.

Clark Close

From: Randy Matheson <randy.matheson@rentonschools.us>
Sent: Thursday, June 02, 2016 3:13 PM
To: Sabrina Mirante
Cc: Clark Close
Subject: RE: City of Renton Notice of Preliminary Plat & School Information Request - Senza Lakeview Preliminary Plat

See response in red below.

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 |

randy.matheson@rentonschools.us | www.rentonschools.us |  



SCHOOL INFORMATION REQUEST

**Subject: Senza Lakeview Preliminary Plat
LUA16-000165, ECF, PP, SM**

The City of Renton's Department of Community and Economic Development (CED) has received an application for a preliminary planned urban development located at **3907 Park Ave N, Renton, WA 98056**. Please see the attached Notice of Application for further details.

In order to process this application, CED needs to know which Renton schools would be attended by children living in residences at the location indicated above. Please fill in the appropriate schools on the list below and return this letter to my attention, City of Renton, CED, Planning Division, 1055 South Grady Way, Renton, Washington 98057 or fax to (425) 430-7300, **by March 25, 2016**

Elementary School: **Hazelwood Elementary School (School bus transportation provided)**

Middle School: **McKnight Middle School (School bus transportation provided)**

High School: **Hazen High School (School bus transportation provided)**

Will the schools you have indicated be able to handle the impact of the additional students estimated to come from the proposed development? Yes **YES** No ____.

Any Comments: _____

Thank you for providing this important information. If you have any questions regarding this project, please contact me at (425) 430-7289.

Exhibit
20

Clark Close

From: Scott Petett <scottpetett@comcast.net>
Sent: Friday, March 11, 2016 2:09 PM
To: Clark Close; Ed Prince; Armondo Pavone
Subject: Senza Lakeview Preliminary Plat
Attachments: Landscape Color.pdf

Hi Clark,

Has the City considered having Lot 6 be part of the open space? Lot 6 has 50 year old decorative plants and trees that are truly beautiful and would be a wonderful open space for this community. As you may know, this was the front yard of the Hunt family. This would offer better access for the pedestrian traffic for this new community to enjoy their open space, Lake Washington Blvd and the future King County Rail trail. This also might help rectify any problems of backyard sidewalk interface on Lake Washington Blvd by consolidating access to one area.

With this 17 lot proposal, does this comply with the City's re-zoning of these property's to R-6?

I appreciate your time.
Scott Petett, D.C.

<https://www.google.com/maps/place/3824+Lake+Washington+Blvd+N,+Renton,+WA+98056/@47.5268509,-122.2040123,78m/data=!3m1!1e3!4m2!3m1!1s0x549069b24273dffd:0xee85c9da08eed73!6m1!1e1>

From: Clark Close [<mailto:CClose@Rentonwa.gov>]
Sent: Wednesday, March 09, 2016 4:57 PM
To: 'scottpetett@comcast.net' <scottpetett@comcast.net>
Subject: Senza Lakeview Preliminary Plat

Scott,

Please find attached submittal items for Senza Lakeview Preliminary Plat (LUA16-000165). The complete submittal item packet is 65 MB which is too large to email. I've narrowed submittal items into a short list to fit into two emails.

Let me know if I can provide you with any additional information or let me know if you would be like to become a party of record to receive future communication about this project.

Thanks,

Clark H. Close
City of Renton – Current Planning
Senior Planner
1055 South Grady Way
Renton, WA 98057
Tel: 425-430-7289
Fax: 425-430-7300
cclose@rentonwa.gov



Denis Law
Mayor

City of
Renton



March 14, 2016

Community & Economic Development Department
C.E. "Chip" Vincent, Administrator

Scott Petett, D.C.
10622 SE Carr Rd, Suite A
Renton, WA 98055

**SUBJECT: SENZA LAKEVIEW PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA16-000165, ECF, PP, SM**

Dear Mr. Petett:

Thank you for your comments received March 11, 2016 related to the Senza Lakeview Preliminary Plat wherein you raised concerns regarding the proposed project. Your email will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your open space and density concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

This matter is tentatively scheduled for consideration by the Environmental Review Committee on April 11, 2016. In addition, this matter is tentatively scheduled for a Public Hearing on May 10, 2016 at 11:00 am at Renton City Hall. City staff encourages you to attend the public hearing.

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7289 or at cclose@rentonwa.gov.

Sincerely,

A handwritten signature in blue ink that reads 'Clark H. Close'.

Clark H. Close
Senior Planner

City of Renton Density Worksheet

cc: File LUA16-000165, ECF, PP, SM

Clark Close

From: Kathy Gough <goughdkb@aol.com>
Sent: Monday, March 14, 2016 5:28 PM
To: Clark Close
Subject: Senza Lakeview LUA16-000165 ECF. PP. SM

Mr Close,

I received a letter of proposed land use for above project. This plot is next to my home due North. 3900 block lake Washington Blvd and 40th street extending East across Park Ave. Myself and my 3 neighbors are on a private drive right next to the land . Per your letter you take comments and concerns. I live at 3836 Lake Washington Blvd N facing down the drive. An easement is not allowed from our private drive. There are concerns of this land being wetlands. There are also many trees on the property along with much wildlife. Can this be verified? Also if during any work we prohibit any access from our private street.

Other concerns are noise dust dirt etc. our property including the house in and out and Windows will surely take a lot of abuse / dirt. Will this be taken care of by the contractor periodically ? And one request I find a must is a dividing type fence between our private road and homes and this division from top of our drive down to Lake Wash. Blvd. east to west. We want to keep our private street inaccessible to any persons (construction or private home owners)

Thank you,
Kathy Gough
206-940-2937
Sent from my iPhone

Exhibit
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Denis Law
Mayor

City of
Renton



March 15, 2016

Community & Economic Development Department
C.E. "Chip" Vincent, Administrator

Kathy Gough
3836 Lake Washington Blvd N
Renton, WA 98056

**SUBJECT: SENZA LAKEVIEW PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA16-000165, ECF, PP, SM**

Dear Ms. Gough:

Thank you for your comments received March 14, 2016 related to the Senza Lakeview Preliminary Plat wherein you raised concerns regarding the proposed project. Your email will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your access, wetlands, tree retention, noise, dust, and screening concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation to the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

This matter is tentatively scheduled for consideration by the Environmental Review Committee on April 11, 2016. In addition, this matter is tentatively scheduled for a Public Hearing on May 10, 2016 at 11:00 am at Renton City Hall. City staff encourages you to attend the public hearing.

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7289 or at cclose@rentonwa.gov.

Sincerely,

A handwritten signature in blue ink that reads "Clark H. Close".

Clark H. Close
Senior Planner

Color Landscape Plan

cc: File LUA16-000165, ECF, PP, SM

Clark Close

From: Nancy Denney <nancydenney@comcast.net>
Sent: Saturday, March 26, 2016 7:33 PM
To: Clark Close
Subject: Party of Record for LUA16-000165, ECF,PP,SM

Hi Clark:

Thank you for your mailing regarding a planning housing development adjacent to our home. We would definitely like to be a party of record regarding the proposed Senza Lakeview preliminary plat Land Use Number LUA16-000165, ECF, PP, SM. This tract of land has been frequented by many species of wildlife over the years since we purchased our home in 1998. We will hate to lose the deer, raccoons, pgymy rabbits and cottontails, coyotes, bull and tree frogs and over 20 species of year round birds. The mentioned vault tract water runoff system is definitely needed as their is a huge rat problem in the neighbor hood. I hope the builders are trying to save the 2 beautiful redwood trees.

Sincerely,
Nancy Denney & Keith Preszler

Exhibit
23

Denis Law
Mayor

City of
Renton



April 6, 2016

Community & Economic Development Department
C.E. "Chip" Vincent, Administrator

Nancy Denney
3818 Lake Washington Blvd N
Renton, WA 98056

**SUBJECT: SENZA LAKEVIEW PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA16-000165, ECF, PP, SM**

Dear Ms. Denney:

Thank you for your comments received March 26, 2016 related to the Senza Lakeview Preliminary Plat wherein you raised concerns regarding the proposed project. Your email will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your wildlife, tree retention and stormwater concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation to the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7289 or at cclose@rentonwa.gov.

Sincerely,

A handwritten signature in cursive script that reads "Clark H. Close".

Clark H. Close
Senior Planner

Tree Retention Plan

cc: File LUA16-000165, ECF, PP, SM

**LUA16-000165 SENZA LAKEVIEW DEVELOPMENT COMMENT
FROM HAMID & TASLEEM QAASIM
ADJACENT PROPERTY OWNERS AT 3830 LAKE WASHINGTON BLVD. N.;**

- Add 8' high chain link construction fence with green fabric along the south property line to protect houses, vehicles, and landscape of adjacent property owners from construction dust, dirt & debris. Maintain for the duration of construction.
- Add a permanent 6' high wall along south border with private drive on south property line to prevent trespassing onto adjacent private property by future residents taking shortcut down to Lake Washington.
- Add restriction of ; "No construction noise before 7:00 am and after 7:00 pm Monday through Saturday."
- Add restriction of; "No construction noise on Sundays."
- Add restriction of ; "No construction traffic or personnel on adjacent private drive along south property line."
- Specify that "No structures greater than 30' taller than current, existing grade."
- No structures on triangular open space at southeast corner of development.
- Wet down dust and loose soil several times daily, as necessary to prevent airborne dust and debris during the construction phase.
- There should have been a sign placed along Lake Washington Blvd. and there might have been more comments, but neighbors cannot see the 1 sign around the corner, up the hill on 40th. Install a sign along Lake Washington Blvd. and Post with 30 days notice of all activities, deadlines, process, and dates, and maintain with up to date project status until completion of construction.
- No notice was mailed to neighbors immediately adjacent to this property. Provide notices mailed to adjacent neighbors, 30 days before any planned actions, changes, hearings, comment due dates, or other pertinent deadlines.
- Require approved erosion control plan showing details of silt fences, sand bags, and other measures to prevent sedimentation and runoff onto adjacent property.
- Provide plan to demonstrate that there will be no runoff of water, silt, or soil onto adjacent private drive along south border of development.
- Provide protection or mitigation to adjacent homes and vehicles from airborne dust and dirt during construction.
- We noticed that architectural elevations were waived. Why? We need to see these to more fully evaluate potential impacts on our view from existing adjacent houses.
- We noticed that floor plans were waived. Why? We need to see these to more fully evaluate potential impacts on our view from existing adjacent houses.
- Preliminary Utility Plan was blank could not load the PDF. We would like to have a copy to confirm utility connections and potential tap locations.
- Preliminary Drainage Control Plan did not load PDF was blank. We would like to have a copy to confirm that there will be no construction runoff or permanent drainage onto private drive along the south border of the property.



April 6, 2016

Hamid & Tasleem Qaasim
3830 Lake Washington Blvd N.
Renton, WA 98056

**SUBJECT: SENZA LAKEVIEW PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA16-000165, ECF, PP, SM**

Dear Mr. & Mrs. Qaasim:

Thank you for your comments received March 25, 2016 related to the Senza Lakeview Preliminary Plat wherein you raised concerns regarding the proposed project. Your letter will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

The applicant, Chris Christensen of iCap Equity, LLC, will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

The following comments are in response to your letter sent to the City.

- **Add 8' high chain link construction fence with green fabric along the south property line to protect houses, vehicles, and landscape of adjacent property owners from construction dust, dirt & debris. Maintain for the duration of construction.**

A construction screening and security fence will be installed around the perimeter of the site during the construction of the plat improvements. Dust control will be implemented as directed by the City Inspector and dust suppression guidelines will be provided to the contractor from the inspector. Truck washing and other measures as approved will be required for the duration of the project. Staff can make a recommendation to the Hearing Examiner or City can also specifically condition the project to seek additional methods that would reduce construction dust, dirt & debris during the job.

- **Add a permanent 6' high wall along south border with private drive on south property line to prevent trespassing onto adjacent private property by future residents taking shortcut down to Lake Washington.**

Staff can make a recommendation to the Hearing Examiner that the applicant install a permanent 6-foot high fence along the south border of the property line where it abuts the private shared driveway to prevent direct access between the two developments.

- **Add restriction of; “No construction noise before 7:00 am and after 7:00 pm Monday through Saturday” (and) “No construction noise on Sundays.”**

Construction hours are 7:00 AM to 8:00 PM Monday thru Friday and 9:00 AM to 8:00 PM on Saturdays (with permission only). No work is allowed on Sundays.

Work hours for hauling in right-of-way are weekdays, 8:30 AM to 3:30 PM, Saturday by approval only and no work on Sundays.

- **Add restriction of; “No construction traffic or personnel on adjacent private drive along south property line.”**

A water utility line, a water easement and a sanitary sewer easement to the City of Renton were recorded with the sale of the Gene Farrell Short Plat (KC Rec. No. 9711109001), along the north property line of the short plat. As necessary, these easements will need to be utilized to for Senza Lakeview Plat infrastructure improvements. No general construction traffic would be allowed to use the private exclusive access easement from the Gene Farrell Short Plat. If necessary, the developer could post a sign at the end of the shared driveway to deter unwarranted general construction traffic.

- **Specify that “No structures greater than 30’ taller than current, existing grade.”**

The maximum wall plate height is 24 feet with 2 stories. Roofs with a pitch equal to or greater than 4:12 may project an additional six (6) vertical feet from the maximum wall plate height; common rooftop features, such as chimneys, may project an additional four (4) vertical feet from the roof surface. Non-exempt vertical projections (e.g., decks, railings, etc.) shall not extend above the maximum wall plate height unless the projection is stepped back one-and-a-half (1.5) horizontal feet from each façade for each one (1) vertical foot above the maximum wall plate height. Building height would be verified at the time of building permit review.

- **No structures on triangular open space at southeast corner of development.**

No structures have been proposed by the applicant on the open space tract located at the southwest corner of the property.

- **Wet down dust and loose soil several times daily, as necessary to prevent airborne dust and debris during the construction phase.**

Dust control would be implemented as directed by the City Inspector and dust suppression guidelines would be provided to the contractor from the inspector.

- **There should have been a sign placed along Lake Washington Blvd. and there might have been more comments, but neighbors cannot see the 1 sign around the corner, up the hill on 40th. Install a sign along Lake Washington Blvd. and Post with 30 days notice of all activities, deadlines, process, and dates, and maintain with up to date project status until completion of construction.**

Staff completed the public notice requirement in accordance with RMC 4-8-090. The site address for the project is 3907 Park Ave N, Renton, WA 98056. A total of two (2) public information signs were posted (one on Park Ave N and a second on N 40th St). In addition three (3) notices of the development application were posted on or near the subject property and mailed to property owners within three hundred feet (300') of the boundaries of the subject property (one of which was posted on Lake Washington Blvd N). Public Information Signs are intended to make the public aware of land use and development actions being considered by the City and facilitate

timely and effective public participation in the review process. The public information signs were installed prior to the Planning Division determining that the subject application was complete. Following land use approval, preliminary plats are required to install a Public Outreach Sign (unless an exemption is approved by the Administrator), which is intended to supplement information provided by Public Information Signs by allowing an applicant to develop a personalized promotional message for the proposed development. This sign is also intended to provide the public with a better sense of proposed development by displaying a colored rendering of the project and other information that lends greater understanding of the project.

- **No notice was mailed to neighbors immediately adjacent to this property. Provide notices mailed to adjacent neighbors, 30 days before any planned actions, changes, hearings, comment due dates, or other pertinent deadlines.**

Staff completed the public notice requirement in accordance with RMC 4-8-090, which includes a 14 day public comment period. Notice of the application was mailed to property owners within three hundred feet (300') of the boundaries of the subject property. Additional public notification of meetings, hearings, and pending actions will also be in accordance with RMC 4-8-090.

- **Require approved erosion control plan showing details of silt fences, sand bags, and other measures to prevent sedimentation and runoff onto adjacent property.**

Approved temporary erosion control measures must be installed and maintained as the first order of business and maintained at all times per the approved drawings for the duration of the project by the developer. This work must comply with the Surface Water Design Manual and must be approved by the Renton Development Services Division.

- **Provide plan to demonstrate that there will be no runoff of water, silt, or soil onto adjacent private drive along south border of development.**

A Temporary Erosion and Sedimentation Control Plan (TESCP) would be prepared and implemented to mitigate the potential for soil erosion. Weekly erosion control reports outlining the status and condition of the erosion control plan, with any recommendations of change or revision to maintenance schedules or installation, may be required to be submitted by the project Engineer of record to the plan review project manager at the City. Certification of the installation, maintenance, and proper removal of the erosion control facilities is required prior to final approval. The applicant submitted a Technical Information Report with the application.

- **Provide protection or mitigation to adjacent homes and vehicles from airborne dust and dirt during construction.**

It is anticipated that some temporary adverse air quality impacts could be associated with site work and building construction required to develop this site. Project development impacts during construction may include dust resulting from grading and exhaust from construction vehicles. Dust control would be mitigated through the use of temporary erosion control measures and/or sprinkling of the site with water as needed.

- **We noticed that architectural elevations were waived. Why? We need to see these to more fully evaluate potential impacts on our view from existing adjacent houses.**

Architectural elevations would be submitted for review at the time of building permit and would be verified for compliance with the development standards of the R-6 zone.

Renton

- **We noticed that floor plans were waived. Why? We need to see these to more fully evaluate potential impacts on our view from existing adjacent houses.**

Building floor plans would be submitted for review at the time of building permit and would be verified for compliance with the development standards of the R-6 zone. The applicant submitted a Preliminary Grading Plan with the application (enclosed).

- **Preliminary Utility Plan was blank could not load the PDF. We would like to have a copy to confirm utility connections and potential tap locations.**

The applicant submitted a Preliminary Utility Plan with the application (enclosed).

- **Preliminary Drainage Control Plan did not load PDF was blank. We would like to have a copy to confirm that there will be no construction runoff or permanent drainage onto private drive along the south border of the property.**

The applicant submitted a Preliminary Drainage Control Plan with the application (enclosed).

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7289 or at cclose@rentonwa.gov.

Sincerely,



Clark H. Close
Senior Planner

Preliminary Grading Plan
Preliminary Utility Plan
Preliminary Drainage Control Plan

cc: File LUA16-000165, ECF, PP, SM

Clark Close

From: Heller, Christa H (DFW) <Christa.Heller@dfw.wa.gov>
Sent: Wednesday, March 16, 2016 9:01 AM
To: Clark Close
Cc: jamie@cphconsultants.com; Fisher, Larry D (DFW); Costello, Casey D (DFW)
Subject: Senza Lakeview Preliminary Plat - Renton

Greetings Mr. Close,

Thank you for the opportunity to review the Senza Lakeview Preliminary Plat proposal. I have reviewed the environmental checklist for this project and would like to make a recommendation for the City to consider.

As you are aware, stormwater outfalls are regulated by the Washington Department of Fish and Wildlife under, WAC 220-660-260 (available online at <http://app.leg.wa.gov/WAC/default.aspx?cite=220-660-260>). I would like to confirm that the outfall to which the stormwater from the proposed plat meets WDFW's rules for the protection of fish life. Additionally, stormwater inputs will likely increase attraction waters for migratory fish, therefore the outfall structure should be located above the lakes ordinary high water line or be outfitted with a device to prevent entry of fish. Please investigate and consider making this upgrade a requirement of the project in order to insure compliance with state rules.

Best,

Christa Heller

Habitat Biologist
Washington Department of Fish and Wildlife
Region 4 – Issaquah Field Office
☎ (425) 313-5681 (office)
✉ christa.heller@dfw.wa.gov



Exhibit
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Denis Law
Mayor

City of
Renton



May 6, 2016

Community & Economic Development Department
C.E. "Chip" Vincent, Administrator

Washington State
Department of Ecology
Environmental Review Section
PO Box 47703
Olympia, WA 98504-7703

Subject: ENVIRONMENTAL (SEPA) THRESHOLD DETERMINATION

Transmitted herewith is a copy of the Environmental Determination for the following project reviewed by the Environmental Review Committee (ERC) on May 2, 2016:

SEPA DETERMINATION: Determination of Nonsignificance - Mitigated (DNS-M)
PROJECT NAME: Senza Lakeview Preliminary Plat
PROJECT NUMBER: LUA16-000165, ECF, PP, SM

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on May 20, 2016, together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by RMC 4-8-110 and information regarding the appeal process may be obtained from the City Clerk's Office, (425) 430-6510.

Please refer to the enclosed Notice of Environmental Determination for complete details. If you have questions, please call me at (425) 430-7289.

For the Environmental Review Committee,

A handwritten signature in blue ink that reads "Clark H. Close".

Clark H. Close
Senior Planner

Enclosure

cc: King County Wastewater Treatment Division
Boyd Powers, Department of Natural Resources
Karen Walter, Fisheries, Muckleshoot Indian Tribe
Melissa Calvert, Muckleshoot Cultural Resources Program
Gretchen Kaehler, Office of Archaeology & Historic Preservation

Ramin Pazooki, WSDOT, NW Region
Larry Fisher, WDFW
Duwamish Tribal Office
US Army Corp. of Engineers

Exhibit
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**ENVIRONMENTAL (SEPA) DETERMINATION OF NON-SIGNIFICANCE
- MITIGATED (DNS-M)**

PROJECT NUMBER: LUA16-000165, ECF, PP, SM

APPLICANT: Jamie Schroeder, PE, CPH Consultants, 11431 Willows Rd NE, Ste 130,
Redmond, WA 98052

PROJECT NAME: Senza Lakeview Preliminary Plat

PROJECT DESCRIPTION: The applicant is requesting Preliminary Plat, SEPA Environmental Review and a Shoreline Substantial Development Permit for approval of a 17-lot subdivision. The 3.83 acre site is located at 3907 Park Ave N within the Residential-6 zoning district. The parcels are proposed to be divided into 17 residential lots, a water quality tract, and an open space tract. The vault tract, located at the northwest corner of the site would discharge to the City storm water system and eventually flow to Lake Washington roughly 1/8 mile downstream. The applicant would dedicate 27,507 sf for public right-of-way to serve the new lots. The proposed lots would range in size from 7,000 sf to 9,531 sf with an average lot size of 7,470 sf. The plat would result in a net density of 5.3 du/ac. The project site is fronted by N 40th St to the north, Park Ave N to the east, and Lake Washington Blvd N to the west. Access to the site would be gained by a new public roadway (Road A) off of N 40th St.

There are moderate landslide hazards and steep slopes mapped in the area. Frontage improvements along Lake Washington Blvd N are within 200 ft of Lake Washington or the regulated shoreline (Lake Washington Reach D). There are no known indications of unstable soils in the immediate vicinity of the site. Soils consist of medium dense to dense, silty sand with gravel consistent with Vashon till. The site slopes generally east to west across the property at slopes ranging from 1-40% with a total fall of approximately 70 ft. All existing improvements and buildings would be demolished or removed during plat construction. The applicant has proposed to retain five (5) of the 40 significant trees onsite. The applicant has submitted a Technical Information Report, Arborist Report, Traffic Assessment, and a Geotechnical Engineering Study with the application.

PROJECT LOCATION: 3907 Park Ave N, Renton, WA 98056

LEAD AGENCY: City of Renton
Environmental Review Committee
Department of Community & Economic Development

The City of Renton Environmental Review Committee has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). Conditions were imposed as mitigation measures by the Environmental Review Committee under their authority of Section 4-9-070D Renton Municipal Code. These conditions are necessary to mitigate environmental impacts identified during the environmental review process. Because other agencies of jurisdiction may be involved, the lead agency will not act on this proposal for fourteen (14) days.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on May 20, 2016. Appeals must be filed in writing together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by RMC 4-8-110 and more information may be obtained from the Renton City Clerk's Office, (425) 430-6510.

**DEPARTMENT OF COMMUNITY
AND ECONOMIC DEVELOPMENT**



PUBLICATION DATE: MAY 16, 2016

DATE OF DECISION: MAY 2, 2016

SIGNATURES:

Gregg Zimmerman, Administrator
Public Works Department

Date

Mark Peterson, Administrator
Fire & Emergency Services

Date

Kelly Beymer, Administrator
Community Services Department

Date

C.E. "Chip" Vincent, Administrator
Department of Community &
Economic Development

Date

[Handwritten signature] 5/2/16

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**DETERMINATION OF NONSIGNIFICANCE - MITIGATED (DNS-M)
MITIGATION MEASURES AND ADVISORY NOTES**

PROJECT NUMBER: LUA16-000165, ECF, PP, SM

APPLICANT: Jamie Schroeder, PE, CPH Consultants, 11431 Willows Rd NE,
Suite 120, Redmond, WA 98052

PROJECT NAME: Senza Lakeview Preliminary Plat

PROJECT DESCRIPTION: The applicant is requesting Preliminary Plat, SEPA Environmental Review and a Shoreline Substantial Development Permit for approval of a 17-lot subdivision. The 3.83 acre site is located at 3907 Park Ave N within the Residential-6 zoning district. The four (4) existing parcels are proposed to be divided into 17 residential lots, a water quality tract, and an open space tract. The vault tract would discharge to the City storm water system and eventually flow to Lake Washington roughly 1/8 mile downstream. The applicant would dedicate 27,507 sf for public right-of-way to serve the new lots. The proposed lots would range in size from 7,000 sf to 9,531 sf with an average lot size of 7,470 sf. The plat would result in a net density of 5.3 du/ac. The project site is fronted by N 40th St to the north, Park Ave N to the east, and Lake Washington Blvd N to the west. Access to the site would be gained by a new public roadway (Road A) off of N 40th St.

There are moderate landslide hazards and steep slopes mapped in the area. Frontage improvements along Lake Washington Blvd N are within 200 ft of Lake Washington or the regulated shoreline (Lake Washington Reach D). There are no known indications of unstable soils in the immediate vicinity of the site. Soils consist of medium dense to dense, silty sand with gravel consistent with Vashon till. The site slopes generally east to west across the property at slopes ranging from 1-40% with a total fall of approximately 70 ft. The existing homes have been or are in various stages of being demolished. The applicant has proposed to retain five (5) of the 40 significant trees onsite. The applicant has submitted a Technical Information Report, Arborist Report, Traffic Assessment, and a Geotechnical Engineering Study with the application.

PROJECT LOCATION: 3907 Park Ave N, Renton WA 98056

LEAD AGENCY: The City of Renton
Department of Community & Economic Development
Planning Division

MITIGATION MEASURES:

1. Project construction shall be required to comply with the recommendations included in the Geotechnical Engineering Report, prepared by Earth Solutions NW, LLC dated September 17, 2015 or an updated report submitted at a later date.

2. The applicant shall install a fish exclusion device at the outfall to Lake Washington in accordance with standards set forth in the WDFW document *Fish Protection Screen Guidelines for Washington State* (written by Bates and Nordlund, 2001). A final detailed fish exclusion device must be submitted and approved by the Plan Review Project Manager prior construction permit issuance.
3. If any Native American grave(s) or archaeological/cultural resources (Indian artifacts) are found, all construction activity shall stop and the owner/developer shall immediately notify the City of Renton planning department, concerned Tribes' cultural committees, and the Washington State Department of Archeological and Historic Preservation.

ADVISORY NOTES:

The following notes are supplemental information provided in conjunction with the administrative land use action. *Because these notes are provided as information only, they are not subject to the appeal process for the land use actions.*

ADVISORY NOTES TO APPLICANT
LUA16-000165



Application Date: March 04, 2016
Name: Senza Lakeview

Site Address: 3916 Lake Washington Blvd N
Renton, WA 98056-1581

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Police Plan Review Comments

Contact: Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Recommendations: Minimal impact on police services.

Community Services Review Comments

Contact: Leslie Betlach | 425-430-6619 | LBetlach@rentonwa.gov

Recommendations: 1. Parks Impact fee per Ordinance 5670 applies.
2. Access to the existing Bike Lane(s) along Lake Washington Blvd. shall be maintained during construction. If necessary, coordinate and sign a detour route. Restore to original /better condition upon completion.
3. Street trees: Space trees 50 feet on center. Each street should contain a different tree species using trees that attain a large mature height. Space trees no closer than 40 feet from intersections and stop signs and 30 feet from street lights.

Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | cthomas@rentonwa.gov

Recommendations: Environmental Impact Comments:
1. The fire impact fees are applicable at the rate of \$495.10 per single family unit. This fee is paid at time of building permit issuance. Credit will be granted for the existing homes to be retained.
Code Related Comments:
1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. It appears there is adequate fire flow in this area. There is no existing water main in Lake Washington Boulevard North.
2. Fire department apparatus access roadways are required to be a minimum of 20 feet wide fully paved, with 25 feet inside and 45 feet outside turning radius. Fire access roadways shall be constructed to support a 30 ton vehicle with 322 psi point loading. Access is required within 150 feet of all points on the buildings. Approved apparatus turnarounds are required for dead end roads exceeding 150 feet. Hammerhead turnarounds are allowed for dead end streets up to 300 feet long.

Planning Review Comments

Contact: Clark Close | 425-430-7289 | cclose@rentonwa.gov

Recommendations: 1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.
2. New single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.
5. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.
6. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.
7. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.

Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

Recommendations: I have reviewed the application for the Senza Lakeview Subdivision at 3908 & 3916 Lake Washington Boulevard North and 3907 Park Avenue North (APN's 334270 0415, 0425, 0420, and 0427 (vacant land)) and have the following comments:

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Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

EXISTING CONDITIONS

Water Water service is provided by the City of Renton.

Sewer Wastewater service is provided by the City of Renton.

Storm The existing properties do not contain stormwater facilities. There are stormwater mains located in Lake Washington Blvd, N 40th Street and Park Avenue N.

CODE REQUIREMENTS

WATER

1. The proposed water main improvements as shown on the composite utilities civil plan submitted with the Land Use Application within the site provides the required 8 inch water main extension into the development, connecting the existing 12 inch water main located in N 40th Street and the existing 8 inch water main located in an easement along the south property line.

Staff Comments:

- i. The proposal shows water service lines connecting to lots 3 and 4 as being curved and installed from the 8 inch main located in Road B. Water service lines shall not be installed curved.
 - ii. Extend the 8 inch water main to the north end of the hammerhead on Road B and add an 8 inch end cap and 2 inch blow off.
 - iii. The water main extension from the 8 inch water main from the south property line shall not be installed along the common lot line. A 5 foot offset from the property line is required.
2. Installation of fire hydrants within 300 feet of each lot is required by Renton Fire Prevention Department. The number and location of new hydrants will be dependent upon the finished square footage of the homes.
3. Each lot shall have a separate meter. The project proposes one 1 inch water service line and meter to each lot, for a total of fourteen (14) new domestic water service lines and meters (credit will be given for the (3) water service lines and meters serving the existing properties).
4. The development is subject to applicable water system development charges and meter installation fees based on the size of the water meters.
- a. Water system development charges for each proposed 1 inch domestic water service is \$3,245.00 per meter or \$55,165.00 for (17) 1 inch meters.
 - b. A redevelopment credit of the water system development charges in the amount of \$3,245.00 will be applied to each of the (3) existing ¾ inch meters to 3908 and 3916 Lake Washington Blvd and 3907 Park Ave N if they are abandoned and capped at the main line.
 - c. The total water SDC fee is \$45,430.00. This is payable at construction permit issuance.
5. Water service installation charges for each proposed 1 inch water service is \$2,850.00 per meter. The total water service installation fee is \$48,450.00. This is payable at construction permit issuance.
6. Drop in meter fee is \$460.00 per meter. The total water drop in meter fee is \$7,820.00. This is payable at issuance of the building permit.
7. Additional water system development charges and water meter charges will apply if a landscape irrigation meter is required and is based on the size of the meter.

SEWER

1. There is an 8 inch sanitary sewer main in Park Ave N, an 8 inch main in N 40th Street and a 10 inch main in Lake Washington Blvd. The applicant has proposed an 8 inch extension from the sanitary sewer main in N 40th Street to provide sanitary sewer service to each of the internal lots. The project proposes to connect lots 3 through 6 to the existing 10 inch main in Lake Washington Blvd, lots 14 through 16 to the existing 8 inch main in Park Ave N and lots 17 and 18 to the existing 8 inch main in N 40th Street.

Staff Comments:

- i. Each lot shall be served by an individual side sewer, dual side sewers are not allowed.
 - ii. The side sewers to serve lots 5 and 6, which are shown to be installed through the Open Space Tract, shall be in a dedicated 15 foot sewer easement.
2. All existing side sewers will be required to be cut and capped during demolition of the properties. New side sewers shall be installed to serve each individual property.

Staff Comments:

- i. There are existing concrete side sewers not serving any homes which were installed on N 40th Street and Lake Washington Blvd as part of the City's LID project (see As built #S 0142) and shall be cut and capped at the main as part of the project development.
3. The development is proposing connection of 14 new single family residences (17 new single family homes, 3 existing homes to be removed). Credit will be provided for the 3 existing homes connected to the City sewer service.
4. The development is subject to applicable wastewater system development charges based on the size of the new domestic water to serve the project.
- a. SDC fee for a 1 inch meter is \$2,242.00 per meter. The total fee is \$38,114.00 for (17) 1 inch meters.
 - b. A redevelopment credit of the wastewater system development charges in the amount of \$2,242.00 will be applied to each of the (3)

PLAN - Planning Review - Land Use

Version 1 | April 28, 2016

Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

existing meters to 3908 and 3916 Lake Washington Blvd and 3907 Park Ave N if they are abandoned and capped at the main line.

c. The total water SDC fee is \$31,388.00. This is payable at construction permit issuance.

SURFACE WATER

1. A surface water development fee of \$1,485.00 per new single family residence will apply. The project proposes the addition of 14 new residences (17 new single family homes, 3 existing homes to be removed). The estimated total fee is \$20,790.00. This is subject to final design and payable prior to issuance of the utility construction permit.

2. A drainage report, dated February 25, 2016, was submitted by CPH Consultants with the site plan application. Based on the City of Renton's flow control map, this site falls within the Peak Rate Flow Control Duration Standard for Existing Conditions. The development is subject to Full Drainage Review in accordance with the 2009 King County Surface Water Design Manual (KCSWDM) and the City of Renton Amendments to the KCSWDM. All core requirements and five of the six special requirements have been discussed in the provided drainage report.

Staff Comments:

i. Applicant shall include discussion of core requirement #6 in the final drainage report. CR #6 relates to the aquifer protection area, which is not applicable to this site, but it should be noted as such in the report.

3. Runoff from the existing site includes three single family residences where no stormwater infrastructure currently exists on site. Runoff from the site sheet flows north and west into a ditch and catch basin at the intersection of Lake Washington Blvd N and N 40th St at the northwest corner of the site. It then flows approximately 540 feet through a series of concrete pipes until it discharges into Lake Washington.

4. A geotechnical report, dated September 17, 2015, completed by Earth Solutions NW, LLC for the site has been provided. The report discusses the soil and groundwater characteristics of the site and provides recommendations for project design and construction. Geotechnical recommendations presented in this report discount the use of full infiltration due to the underlying dense glacial till soil.

5. The project site is located within the East Lake Washington drainage basin and the flowpath from the project site discharge point is less than a half mile to the 100 year floodplain of Lake Washington and qualifies for the direct discharge exemption in accordance with Section 1.2.3.1 of the City Amendments to the KCSWDM and must adhere to all requirements thereof.

Staff Comments:

i. The conveyance system analysis provided in the preliminary Technical Information Report (TIR) does not provide a complete analysis of the system to the outfall in Lake Washington in accordance with the requirements for the direct discharge exemption as outlined in Section 1.2.3 of the 2009 KCSWDM. Applicant shall provide a complete conveyance system analysis, including new conveyance pipes within the proposed development and existing conveyance pipes from the development boundary to the outfall in Lake Washington. Applicant shall demonstrate the outfall is adequately sized to support the added run off from the development.

6. The development is required to provide basic water quality treatment prior to discharge. Project water quality treatment will consist of conveyance to a Contech StormFilter system prior to connection to the existing 18 inch concrete stormwater main located at the intersection of Lake Washington Blvd and N 40th St.

Staff Comments:

i. Presettling shall be provided per Section 6.5.1 of the 2009 KCSWDM.

ii. The conveyance and water quality systems shall be designed in accordance with the KCSWDM and the City of Renton Amendments to the manual that is current at the time of utility construction permit application.

iii. A maintenance access road is required to the stormwater facilities in the proposed storm tract and shall be in accordance with the design requirements outlined in the KCSWDM.

7. No downstream flooding or erosion issues were identified in the drainage report.

Additional Staff Comments:

i. Storm drainage pipes shall not be located beneath the landscape strip or sidewalk. Relocate the lines into the paved roadway and provide solid round locking lids where required.

ii. Roof drains require a minimum 10 foot easement. Applicant shall provide details on how the roof drains will be connected into the public storm drain system. Such connections shall be in accordance with City of Renton standards and the 2009 KCSWDM.

iii. The development shall not create protected slopes as defined by RMC 4 3 050.

iv. Grading shall be in accordance with RMC 4 4 060.

TRANSPORTATION

1. The proposed development fronts Lake Washington Boulevard North along the west property lines. Lake Washington Boulevard is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 60 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 11.5 feet of right of way would be required. However, the City's transportation group has determined and will support a lesser standard to match the established standard street section for Lake Washington Blvd N. The City established standard street section for Lake Washington Blvd N, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 8 foot sidewalks, and 0.5 foot

PLAN - Planning Review - Land Use

Version 1 | April 28, 2016

Engineering Review Comments

Contact: Ann Fowler | 425-430-7382 | afowler@rentonwa.gov

curb. This recommendation results in a total right of way width of 69 feet, requiring 4.5 feet of ROW dedication. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outline in City code 4 9 250C5d.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The plat shows 2 feet of dedication along Lake Washington Blvd N. and a 5 foot sidewalk. The plans will need to be updated to provide the required 4.5 feet of dedication and 8 foot sidewalk for submittal of the construction permit application.

iii. The established street section does not include a parking lane. If parking is required for the development along Lake Washington Blvd N, additional ROW dedication will be required.

2. The proposed development fronts North 40th Street along the north property lines. North 40th Street is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 60 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 11.5 feet of right of way would be required. However, the City's transportation group has determined and will support a lesser standard to match the established street section for North 40th Street. The City established street section for North 40th Street, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 5 foot sidewalks, and 0.5 foot curb. This recommendation results in a total right of way width of 63 feet, requiring 1.5 feet of ROW dedication. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outline in City code 4 9 250C5d.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The proposed street section does not include a parking lane. Since parking is not allowed within the development, parking for the development can be located along North 40th Street. The designed street section will need to be revised to include one 6 foot parking lane on the development side of the street. ROW width, as dedicated, will provide sufficient pavement width for one 6 foot parking lane on the south side of the roadway.

3. The proposed development fronts Park Avenue North along the east property lines. Park Avenue North is classified as a Collector Arterial Road. Existing right of way (ROW) width is approximately 50 feet. To meet the City's complete street standards for collector arterial streets, minimum right of way width is 83 feet. Dedication of 16.5 feet of right of way would be required. However, the City's transportation group has determined and will support a lesser standard to match the established street section for Park Ave N. The City established street section for Park Ave N, which shall be installed by the developer as part of the proposed short plat, will allow a pavement width of 36 feet, 8 foot planting strips, 5 foot sidewalks, and 0.5 foot curb. This recommendation results in a total right of way width of 63 feet, requiring 6.5 feet of ROW dedication.

Staff Comments:

i. Applicant will need to submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.

ii. The proposed street section does not include a parking lane. Since parking is not allowed within the development, parking for the development can be located along Park Avenue North. The designed street section will need to be revised to include one 6 foot parking lane on the development side of the street. ROW width, as dedicated, will provide sufficient pavement width for one 6 foot parking lane on the west side of the roadway.

4. Two limited residential access roads (Road A and Road B) with 20 feet of paved roadway width and a hammerhead turnaround at the end of Road B have been proposed as the primary access for the internal lots of the development.

Staff Comments:

i. The hammerhead turnaround shall be designed in accordance with City of Renton Fire Department standards.

ii. Emergency services access within 150 feet of all homes via a 20 foot paved roadway is required. As such, parking is not allowed along the internal access road proposed for the project.

5. ADA access ramps shall be installed at all street crossings. Ramps are not shown at the intersection of Road B and Road C. A companion ramp is required along the east side of Road A for the ramp located at the southwest corner of the intersection of Road A and Road B. Ramps shall be oriented to provide direct pedestrian crossings. Additional ramps are required at all corner intersections (two ramps per curb return). Driveway locations may need to be adjusted to accommodate the required access ramps.

6. Street lighting and street trees are required to meet current city standards. Lighting plans were not submitted with the land use application and will be reviewed during the construction utility permit review.

7. A traffic analysis dated February 18, 2016, was provided by Transportation Engineering Northwest (TENW). The site generated traffic volumes were calculated using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, (2009).

Based on the calculations provided, the proposed development would average 164 new daily vehicle trips. Weekday peak hour AM trips would generate 11 new vehicle trips, with 8 vehicles leaving and 3 vehicles entering the site. Weekday peak hour PM trips would generate

PLAN - Planning Review - Land Use

Version 1 | April 28, 2016

Engineering Review Comments	Contact: Ann Fowler 425-430-7382 afowler@rentonwa.gov
<p>17 new vehicle trips, with 10 vehicles entering and 7 vehicles existing the site. As detailed in the report the proposed project is not expected to lower the levels of service of the surrounding intersections included in the traffic study. Increased traffic created by the development will be mitigated by payment of transportation impact fees.</p> <p>8. Refer to City code 4 4 080 regarding driveway regulations. Driveways shall be designed in accordance with City standard plans 104.1 and 104.2.</p> <p>9. Payment of the transportation impact fee is applicable on the construction of the development at the time of application for the building permit. The current rate of transportation impact fee is \$2,951.17 per dwelling unit for single family homes. The project proposes the addition of 14 new residences (17 new single family homes, 3 existing homes to be removed). The estimated total fee is \$41,316.38. Traffic impact fees will be owed at the time of building permit issuance. Fees are subject to change. The transportation impact fee that is current at the time of building permit application will be levied.</p> <p>10. Paving and trench restoration shall comply with the City's Trench Restoration and Overlay Requirements.</p> <p>GENERAL COMMENTS</p> <p>1. Adequate separation between utilities shall be provided in accordance with code requirements.</p> <p>a. 7 ft minimum horizontal and 1 ft vertical separation between storm and other utilities is required with the exception of water lines which require 10 ft horizontal and 1.5 ft vertical.</p> <p>2. All construction utility permits for drainage and street improvements will require separate plan submittals. All utility plans shall confirm to the Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans.</p> <p>3. A landscaping plan shall be included with the civil plan submittal. Each plan shall be on separate sheets.</p> <p>4. All electrical, phone, and cable services and lines serving the proposed development must be underground. The construction of these franchise utilities must be inspected and approved by a City of Renton inspector.</p>	

CITY OF
Renton 

NOTICE

OF ENVIRONMENTAL DETERMINATION
ISSUANCE OF A DETERMINATION OF NONSIGNIFICANCE - MITIGATED (DNS-M)

POSTED TO NOTIFY INTERESTED PERSONS OF AN ENVIRONMENTAL ACTION

PROJECT NAME: Senza Lakeview Preliminary Plat
PROJECT NUMBER: LUA16-000165, ECF, PP, SM
LOCATION: 3907 Park Ave N, Renton WA 98056

Description: The applicant is requesting Preliminary Plat, SEPA Environmental Review and a Shoreline Substantial Development Permit for approval of a 17-lot subdivision. The 3.83 acre site is located within the Residential-6 zoning district. The four (4) existing parcels are proposed to be divided into 17 residential lots, a water quality tract, and an open space tract. The vault tract would discharge to the City storm water system and eventually flow to Lake Washington. Roughly 27,507 sf would be dedicated for public right-of-ways. The proposed lots would range in size from 7,000 sf to 9,531 sf with an average lot size of 7,470 sf. The plat would result in a net density of 5.3 du/ac. The project site is fronted by N 40th St, Park Ave N, and Lake Washington Blvd N. A new access to the site would be gained by a new public roadway from N 40th St.

There are moderate landslide hazards and steep slopes mapped in the area. Frontage improvements along Lake Washington Blvd N are within 200 ft of Lake Washington or the regulated shoreline (Lake Washington Reach D). There are no known indications of unstable soils in the immediate vicinity of the site. Soils consist of medium dense to dense, silty sand with gravel consistent with Vashon till. The site slopes generally east to west across the property at slopes ranging from 1-40% with a total fall of roughly 70 ft. The existing homes have been or are in various stages of being demolished. The applicant has proposed to retain five (5) of the 40 significant trees onsite.

THE CITY OF RENTON ENVIRONMENTAL REVIEW COMMITTEE (ERC) HAS DETERMINED THAT THE PROPOSED ACTION HAS PROBABLE SIGNIFICANT IMPACTS THAT CAN BE MITIGATED THROUGH MITIGATION MEASURES.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on May 20, 2016, together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by City of RMC 4-8-110 and information regarding the appeal process may be obtained from the Renton City Clerk's Office, (425) 430-6510.

A PUBLIC HEARING WILL BE HELD BY THE RENTON HEARING EXAMINER AT HIS REGULAR MEETING IN THE COUNCIL CHAMBERS ON THE 7TH FLOOR OF CITY HALL, 1055 SOUTH GRADY WAY, RENTON, WASHINGTON, ON **JUNE 14, 2016** AT 12:00 PM TO CONSIDER THE PRELIMINARY PLAT. IF THE ENVIRONMENTAL DETERMINATION IS APPEALED, THE APPEAL WILL BE HEARD AS PART OF THIS PUBLIC HEARING.



FOR FURTHER INFORMATION, PLEASE CONTACT THE CITY OF RENTON, DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT AT (425) 430-7200.
DO NOT REMOVE THIS NOTICE WITHOUT PROPER AUTHORIZATION

PLEASE INCLUDE THE PROJECT NUMBER WHEN CALLING FOR PROPER FILE IDENTIFICATION.

ADVISORY NOTES TO APPLICANT

LUA16-000165



Application Date: March 04, 2016
Name: Senza Lakeview

Site Address: 3916 Lake Washington Blvd N
Renton, WA 98056-1581

PLAN - Planning Review - Land Use

Version 1 | June 06, 2016

Engineering Review Comments

Contact: Brianne Bannwarth | 425-430-7299 | bbannwarth@rentonwa.gov

Recommendations: A traffic analysis dated February 18, 2016, was provided by Transportation Engineering Northwest (TENW). The site generated traffic volumes were calculated using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, (2009).

Based on the calculations provided, the proposed development would average 164 new daily vehicle trips. Weekday peak hour AM trips would generate 11 new vehicle trips, with 8 vehicles leaving and 3 vehicles entering the site. Weekday peak hour PM trips would generate 17 new vehicle trips, with 10 vehicles entering and 7 vehicles exiting the site. The project results in less than 20 peak hour trips, therefore a traffic concurrency is not required.

Exhibit
27

Department of Community and Economic Development
Planning Division
ADMINISTRATIVE POLICY/CODE INTERPRETATION

**ADMINISTRATIVE
POLICY/CODE
INTERPRETATION #:** CI-73 - REVISED

**Entire Document
Available Upon Request**

**MUNICIPAL
CODE SECTIONS:** 4-2-110.A, 4-2-110.B, 4-2-110.D, 4-2-115, 4-11-020, and 4-11-230

REFERENCE:

SUBJECT: Residential Building Height (RC thru RMF)

BACKGROUND: **Erratum Statement:** CI-73 implemented changes to the method of height measurement for structures in the RC through RMF zones. This erratum statement affects the two-story limitation for R-14 zoned properties by increasing it to three. Docket #116 advocates for increased height and story limits for select zones, including the RMF zone. The R-14 zone is transitional between the R-10 and RMF, and therefore R-14 standards are intended to offer a compromise between the restrictions of the R-10 and the allowances of the RMF zone. By limiting wall plate height to 24' yet allowing three stories, the R-14 zone would provide an appropriate transition between the R-10 and RMF zones with respect to building height.

By definition, the current method to determine a building's height is to measure the average height of the highest roof surface from the grade plane (i.e., average grade). The maximum height allowed in the RC through R-14 zones is 30 feet (35' in the RMF). The implementation of a "maximum height" (RMC 4-2-110.A) as applied to roofed buildings is inconsistent and contradictory with the intent and purpose statements of Title IV related to residential design (RMC 4-2-115). Further, regulating the height of non-roofed structures is unenforceable by Title IV (except for Building Code). The ambiguity and contradictory aspects of the code exist for two reasons:

1. Height is measured to the midpoint of a roof; and
2. Flat roofs are able to be as tall as buildings with pitched roofs, which increases the building's massing.

Exhibit
29

CITY OF RENTON
SHORT PLAT # LUA-95-189

CITY OF RENTON APPROVALS:

KING COUNTY
DEPARTMENT OF ASSESSMENTS

RECORDING NO.

VOL./PAGE

Examined and approved this 5th day of November, 1997

Examined and approved this 10th day of NOVEMBER, 1997

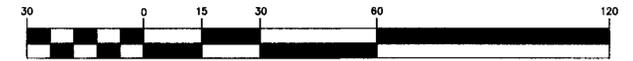
9711109001

118 61

Megan Zimmerman
Administrator, Planning/Building/ Public Works

Assessor SCOTT NOBLE
Deputy Assessor John Eddy
Account Number 334270-0410

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

CERTIFICATION

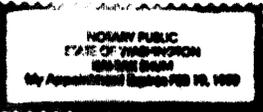
KNOW ALL MEN BY THESE PRESENTS that we, the undersigned owners in fee simple of the land herein described, do hereby make a short subdivision thereof and declare this map to be the graphic representation of same, and that said short subdivision is made with the free consent and in accordance with the desire of the owners.

IN WITNESS WHEREOF we have set our hands.

Ronald D. Carver Alana K. Carver
Name RONALD D. CARVER Name ALANA K. CARVER

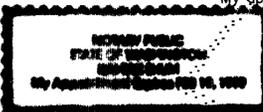
Name _____ Name _____

Name _____ Name _____



I certify that I know or have satisfactory evidence that ALANA K. CARVER signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in the instrument.

Signature of Notary Public [Signature]
Dated 10-29-97
My appointment expires Feb 19, 1999



I certify that I know or have satisfactory evidence that RONALD D. CARVER signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in the instrument.

Signature of Notary Public [Signature]
Dated 10-29-97
My appointment expires Feb 19, 1999

I certify that I know or have satisfactory evidence that signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in the instrument.

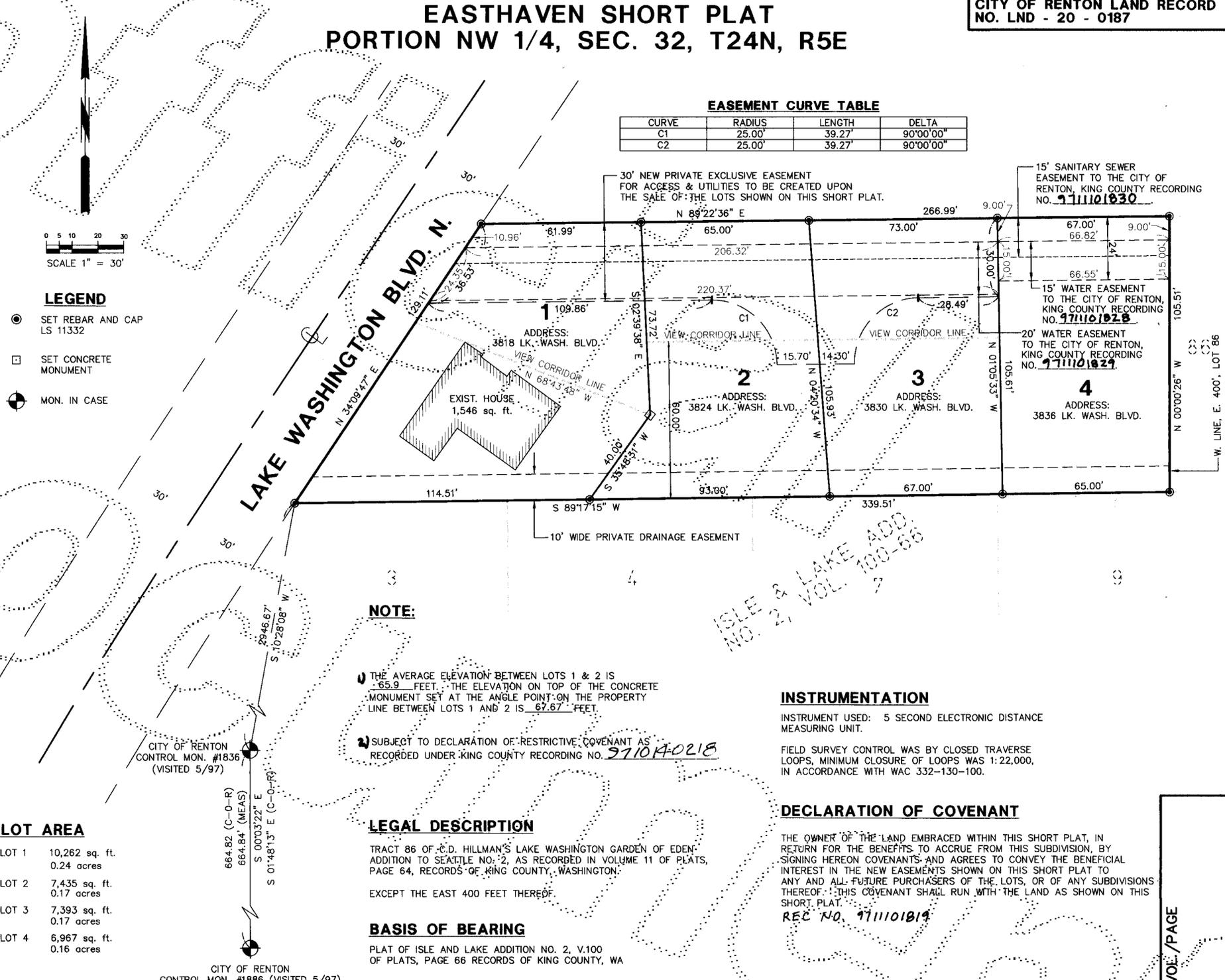
Signature of Notary Public _____
Dated _____
My appointment expires _____

EASTHAVEN SHORT PLAT
PORTION NW 1/4, SEC. 32, T24N, R5E

CITY OF RENTON LAND RECORD
NO. LND - 20 - 0187

EASEMENT CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
C1	25.00'	39.27'	90°00'00"
C2	25.00'	39.27'	90°00'00"



LEGEND

- SET REBAR AND CAP LS 11332
- SET CONCRETE MONUMENT
- ⊕ MON. IN CASE

NOTE:

1) THE AVERAGE ELEVATION BETWEEN LOTS 1 & 2 IS 65.9 FEET. THE ELEVATION ON TOP OF THE CONCRETE MONUMENT SET AT THE ANGLE POINT ON THE PROPERTY LINE BETWEEN LOTS 1 AND 2 IS 67.67 FEET.

2) SUBJECT TO DECLARATION OF RESTRICTIVE COVENANT AS RECORDED UNDER KING COUNTY RECORDING NO. 971040218

LEGAL DESCRIPTION

TRACT 86 OF C.D. HILLMAN'S LAKE WASHINGTON GARDEN OF EDEN ADDITION TO SEATTLE NO. 2, AS RECORDED IN VOLUME 11 OF PLATS, PAGE 64, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE EAST 400 FEET THEREOF.

BASIS OF BEARING

PLAT OF ISLE AND LAKE ADDITION NO. 2, V.100 OF PLATS, PAGE 66 RECORDS OF KING COUNTY, WA

INSTRUMENTATION

INSTRUMENT USED: 5 SECOND ELECTRONIC DISTANCE MEASURING UNIT.

FIELD SURVEY CONTROL WAS BY CLOSED TRAVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 332-130-100.

DECLARATION OF COVENANT

THE OWNER OF THE LAND EMBRACED WITHIN THIS SHORT PLAT, IN RETURN FOR THE BENEFITS TO ACCRUE FROM THIS SUBDIVISION, BY SIGNING HEREON COVENANTS AND AGREES TO CONVEY THE BENEFICIAL INTEREST IN THE NEW EASEMENTS SHOWN ON THIS SHORT PLAT TO ANY AND ALL FUTURE PURCHASERS OF THE LOTS, OR OF ANY SUBDIVISIONS THEREOF. THIS COVENANT SHALL RUN WITH THE LAND AS SHOWN ON THIS SHORT PLAT.

REC NO. 9711101819

LOT AREA

LOT 1	10,262 sq. ft. 0.24 acres
LOT 2	7,435 sq. ft. 0.17 acres
LOT 3	7,393 sq. ft. 0.17 acres
LOT 4	6,967 sq. ft. 0.16 acres

RECORDER'S CERTIFICATE 9711109001

filed for record this 18th day of NOV, 1997, at 5:51 P.M. in book 118 of 61 at page 61 at the request of

[Signature] Mgr.
Val Wood Supt. of Records

LAND SURVEYOR'S CERTIFICATE

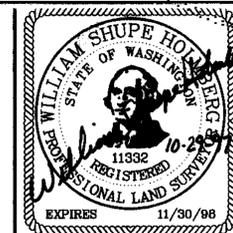
This Short Plat correctly represents a survey made by me or under my direction in conformance with the requirements of the appropriate State and County Statute and Ordinance in MAY, 1997.

William Schupe Holmberg
Certificate No. 11332

Exhibit 30 **SHORT PLAT**

FOR

GENE O. FARRELL



BAIMA & HOLMBERG INC.
ENGINEERS & SURVEYORS

100 FRONT STREET SOUTH ISSAQUAH, WASHINGTON 98027
(206) 392-0250

DWN. BY CLD	DATE 4/29/97	JOB NO. 986-005
CHKD. BY MJB	SCALE 1" = 30'	DWG. NO. 986-55P
SHEET 1 OF 1		