

A. ADMINISTRATIVE SHORT PLAT REPORT & DECISION

DECISION: APPROVAL APPROVAL SUBJECT TO CONDITIONS DENIAL

REPORT DATE: December 1, 2015

Project Name: Syrbu III Short Plat

Owner/Applicant: Vyacheslau & Natalya Syrbu, 1917 Jones Avenue NE, Renton, WA 98506

Contact: Jim Hanson, Hanson Consulting, 17446 Mallard Cove Lane, Mt Vernon, WA 98274

File Number: LUA15-000766, SHPL-A

Project Manager: Jill Ding, Senior Planner

Project Summary: The applicant is requesting Preliminary Short Plat approval for the subdivision of an existing 9,632 square foot (0.22 acre) lot, zoned Residential-10 (R-10), into two lots. An existing duplex is proposed to be removed from the project site and single family residences would be constructed on the new lots. Proposed Lot 1 would have an area of 4,793 square feet and Lot 2 would have an area of 4,842 square feet. The proposed lots would both have areas of 4,816 square feet. Access to the new lots is proposed via residential driveways off of Index Avenue NE. No critical areas are mapped on the project site. Preliminary Short Plat approval was previously granted on the project site under LUA08-119, however the application expired. As part of the previous short plat approval, a fee in lieu of constructing frontage improvements was granted.

Project Location: 613 and 615 Index Avenue NE

Site Area: 0.22 acres



Project Location Map

B. EXHIBITS:

- Exhibit 1: Staff Report
- Exhibit 2: Short Plat Plan
- Exhibit 3: Planting and Tree Retention Plan
- Exhibit 4: Utilities/Drainage/Grading Plan
- Exhibit 5: Drainage BMPs Plan
- Exhibit 6: Drainage Report (October 20, 2015)
- Exhibit 7: Neighborhood Detail Map
- Exhibit 8: Geotechnical Report (August 21, 2015)
- Exhibit 9: Advisory Notes to Applicant
- Exhibit 10: CI-73 Building Height

C. GENERAL INFORMATION:

- 1. **Owner(s) of Record:** Vyacheslau & Natalya Syrbu
1917 Jones Avenue NE
Renton, WA 98506
- 2. **Zoning Classification:** Residential – 10 (R-10)
- 3. **Comprehensive Plan Land Use Designation:** Residential High Density (HD)
- 4. **Existing Site Use:** Duplex
- 5. **Neighborhood Characteristics:**
 - a. **North:** Residential Single-Family and Duplexes (R-10)
 - b. **East:** Residential Single-Family and Duplexes (R-10)
 - c. **South:** Residential Single-Family and Duplexes (R-10)
 - d. **West:** Residential Single-Family and Duplexes (R-10)
- 6. **Site Area:** 0.22 acres

D. HISTORICAL/BACKGROUND:

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5758	06/22/2015
Zoning	N/A	5758	06/22/2015
Annexation	N/A	1246	04/16/1946
Syrbu II Short Plat Approval (Expired)	LUA08-119	N/A	11/14/2008

E. PUBLIC SERVICES:

- 1. Existing Utilities

- a. **Water:** The project site is located in the City of Renton water service area. There is a 6-inch water main within the existing roadway (Index Avenue NE).
 - b. **Sewer:** There is an existing 8-inch sewer main, which currently serves the property, within the right-of-way of Index Avenue NE.
 - c. **Surface/Storm Water:** There are no improved storm systems fronting the property. All surface water drains into the North Renton Sub-Basin area.
2. **Streets:** There are no sidewalks, curb or gutter fronting the lot, although there is a paved right-of-way.
 3. **Fire Protection:** City of Renton Fire Department

F. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:

1. **Chapter 2 Land Use Districts**
 - a. Section 4-2-020: Purpose and Intent of Zoning Districts
 - b. Section 4-2-070: Zoning Use Table
 - c. Section 4-2-110: Residential Development Standards
2. **Chapter 4 Property Development Standards**
3. **Chapter 6 Streets and Utility Standards**
 - a. Section 4-6-060: Street Standards
4. **Chapter 7 Subdivision Regulations**
 - a. Section 4-7-070: Detailed Procedures for Short Subdivision
5. **Chapter 11 Definitions**

G. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:

1. Land Use Element

H. FINDINGS OF FACT (FOF):

1. The Planning Division of the City of Renton accepted the above master application for review on October 21, 2015 and determined the application complete on November 2, 2015. The project complies with the 120-day review period.
2. The project site is located at 613 and 615 Index Avenue NE.
3. The project site is currently developed with an existing duplex and detached shed, proposed for removal. Development in the R-10 zone is subject to Site Plan Review, however in accordance with RMC 4-9-200C.2.b development that is categorically exempt from Environmental (SEPA) Review is exempt from Site Plan Review, except "where existing dwelling units are included in a development proposal for new dwelling units, whether created by subdivision or other means". The current proposal which includes the removal of the existing duplex would be exempt from Site Plan Review, however if the applicant decided to retain the existing duplex, the proposal would require Site Plan Review as they would be including existing dwelling units in a proposal for new dwelling units. Therefore, staff recommends as a condition of approval, that either a demolition permit be obtained and all inspections completed for the removal of the existing duplex and all accessory structures prior to recording of the short plat, or an application be submitted for site plan review and a decision issued prior to recording of the short plat.
4. Access to the site would be provided via residential driveways onto Index Avenue NE.

5. The property is located within the Residential High Density (HD) Comprehensive Plan land use designation.
6. The site is located within the Residential – 10 (R-10) zoning classification.
7. There is one significant tree located on site, which the applicant is proposing to retain.
8. No critical areas are mapped on the project site.
9. The applicant is proposing to begin construction in spring of 2016 and end in the summer of 2016.
10. No public or agency comments were received during the 14-day public comment period.
11. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments have been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
12. **Comprehensive Plan Compliance:** The site is designated Residential High Density (HD) on the City’s Comprehensive Plan Map. HD unit types are designed to incorporate features from both single-family and multi-family developments, support cost-efficient housing, facilitate infill development, have close access to transit service, and efficiently use urban services and infrastructure. Lands designated HD is where projects will be compatible with existing uses and where infrastructure is adequate to handle impacts from higher density uses. The proposal is compliant with the following Comprehensive Plan Goals and Policies:

Compliance	Comprehensive Plan Analysis
✓	Goal L-H: Plan for high-quality residential growth that supports transit by providing urban densities, promotes efficient land utilization, promotes good health and physical activity, builds social connections, and creates stable neighborhoods by incorporating both built amenities and natural features.
✓	Goal L-I: Utilize multiple strategies to accommodate residential growth, including: <ul style="list-style-type: none"> • Development of new single-family neighborhoods on large tracts of land outside the City Center, • Development of new multi-family and mixed-use in the City Center and in the Residential High Density and Commercial Mixed Use designations, and • Infill development on vacant and underutilized land in established neighborhoods and multi-family areas.
✓	Goal L-BB: Maintain a high quality of life as Renton grows by ensuring that new development is designed to be functional and attractive.
✓	Goal L-FF: Strengthen the visual identity of Renton and its Community Planning Areas and neighborhoods through quality design and development.
✓	Policy L-49: Address privacy and quality of life for existing residents by considering scale and context in infill project design.

13. **Zoning Development Standard Compliance:** The site is classified Residential-10 (R-10) on the City’s Zoning Map. The Residential-10 Zone (R-10) is established for high-density residential development that will provide a mix of residential styles including small lot detached dwellings or attached dwellings such as townhouses and small-scale flats. Development promoted in the zone is intended to increase opportunities for detached dwellings as a percent of the housing stock, as well as allow some small-

scale attached housing choices and to create high-quality infill development that increases density while maintaining the single family character of the existing neighborhood. The zone serves as a transition to higher density multi-family zones. The proposal is compliant with the following development standards if all conditions of approval are met:

Compliance	R-10 Zone Develop Standards and Analysis												
✓	<p>Density: The density range permitted in the R-10 zone is a minimum 5.0 up to a maximum of 10.0 dwelling units per net acre. Net density is calculated after the deduction of sensitive areas, areas intended for public right-of-way, and private access easements.</p> <p><i>Staff Comment:</i> As discussed below under streets, FOF 16, the proposed short plat will be required to dedicate 1.5 feet of right-of-way for the installation of frontage improvements along Index Avenue NE. After the deduction of 1.5 feet of right-of-way, the project site would have a net area of 9,491 square feet (9,632 sf gross site area – 141 sf right-of-way dedication = 9,491 sf net area). With two lots, the proposal would arrive at a net density of 9.10 dwelling units per acre (2 units / 0.22 acres = 9.10 du/ac), which is within the density range permitted in the R-10 zone.</p>												
✓	<p>Lot Dimensions: The minimum lot size permitted in the R-10 zone is 4,000 sq. ft. for detached dwellings. There is no minimum lot size for attached dwellings. A minimum lot width of 40 feet is required (50 feet for corner lots) and a minimum lot depth of 70 feet is required.</p> <p>The following table identifies the proposed approximate dimensions for Lots 1 and 2</p> <table border="1" data-bbox="423 1031 1474 1188"> <thead> <tr> <th data-bbox="423 1031 683 1083">Proposed Lot</th> <th data-bbox="683 1031 948 1083">Lot Size (sq. ft.)</th> <th data-bbox="948 1031 1213 1083">Lot Width (feet)</th> <th data-bbox="1213 1031 1474 1083">Lot Depth (feet)</th> </tr> </thead> <tbody> <tr> <td data-bbox="423 1083 683 1136">Lot 1</td> <td data-bbox="683 1083 948 1136">4,793</td> <td data-bbox="948 1083 1213 1136">46.76</td> <td data-bbox="1213 1083 1474 1136">102.50</td> </tr> <tr> <td data-bbox="423 1136 683 1188">Lot 2</td> <td data-bbox="683 1136 948 1188">4,842</td> <td data-bbox="948 1136 1213 1188">47.24</td> <td data-bbox="1213 1136 1474 1188">102.50</td> </tr> </tbody> </table> <p><i>Staff Comment:</i> The lots as proposed would comply with the minimum lot size, width, and depth requirements.</p>	Proposed Lot	Lot Size (sq. ft.)	Lot Width (feet)	Lot Depth (feet)	Lot 1	4,793	46.76	102.50	Lot 2	4,842	47.24	102.50
Proposed Lot	Lot Size (sq. ft.)	Lot Width (feet)	Lot Depth (feet)										
Lot 1	4,793	46.76	102.50										
Lot 2	4,842	47.24	102.50										
✓	<p>Setbacks: The required setbacks in the R-10 zone are as follows: front yard is 20 feet except when all access is taken from an alley then 15 feet; side yard is 4 feet for detached units, for attached dwellings the side yard is 0 feet for attached sides and 4 feet for unattached sides; side yard along the street 15 feet; and the rear yard is 15 feet.</p> <p><i>Staff Comment:</i> The existing duplex has a front yard setback of 20.5 feet, side yard setback of 12.4 feet and 17.1 feet, and a rear setback of 57.8 feet and therefore complies with all setback requirements of the R-10 zone. The applicant indicates that the existing duplex is proposed to be removed; the setback requirements for any new structures on the site would be verified at the time of building permit review.</p>												
✓	<p>Building Standards: The R-10 zone has a maximum building coverage of 55% and a maximum impervious surface coverage of 70%. A Code Interpretation (CI-73) (Exhibit 10) was adopted regarding building height requirements. In the R-10 zone, a maximum building height of 2 stories with a wall plate height of 24 feet is permitted. Roofs with a pitch equal to or greater than 4:12 may project an additional six (6) vertical feet from the maximum wall plate height; common rooftop features, such as chimneys, may project an additional four (4) vertical feet from the roof surface. Non-exempt vertical projections (e.g., decks, railings, etc.) shall not extend above the maximum wall plate height unless the projection is stepped back one-and-a-half (1.5)</p>												

	<p>horizontal feet from each façade for each one (1) vertical foot above the maximum wall plate height.</p> <p>Wall plates supporting a roof with only one (1) sloping plane (e.g., shed roof) may exceed the stated maximum if the average of wall plate heights is equal or less than the maximum wall plate height allowed.</p> <p><i>Staff Comment: Height information of the existing duplex was not included with the formal land use application materials. The duplex has a building footprint of 1,595 square feet and the shed has a building footprint of 77 square feet resulting in a total building footprint of 1,672 square feet. The existing building coverage on the project site is seventeen percent (17%), which complies with the building coverage requirements of the R-10 zone. The project site has a total impervious surface area of 2,023 square feet, which results in an impervious surface coverage of twenty one percent (21%), which complies with the impervious surface coverage requirements of the R-10 zone. If the applicant decides to retain the existing duplex, the applicant will need to submit information verifying that the duplex complies with the height requirements. Staff recommends, as a condition of approval, that the applicant either provides information demonstrating that the existing duplex complies with the building height requirements or obtains a demolition permit and completes all required inspections prior to short plat recording.</i></p> <p><i>Building height, building coverage, and impervious surface coverage for any new residential structures would be verified at the time of building permit review.</i></p>
<p>✓</p>	<p>Maximum Number of Units per Building: No more than 4 units per building.</p> <p><i>Staff Comment: There is one duplex on the project site with a total of 2 units, which complies with this requirement. Compliance with the maximum number of units per building for any new residential structures would be verified at the time of building permit review.</i></p>
<p>Compliant if condition of approval is met</p>	<p>Landscaping: The City's landscape regulations (RMC 4-4-070) require a 10-foot landscape strip along all public street frontages. Additional minimum planting strip widths between the curb and sidewalk are established according to the street development standards of RMC 4-6-060. Street trees and, at a minimum, groundcover, are to be located in this area when present. Spacing standards shall be as stipulated by the Department of Community and Economic Development, provided there shall be a minimum of one street tree planted per address. Any additional undeveloped right-of-way areas shall be landscaped unless otherwise determined by the Administrator. Where there is insufficient right-of-way space or no public frontage, street trees are required in the front yard subject to approval of the Administrator. A minimum of two trees are to be located in the front yard prior to final inspection for the new Single Family Residence.</p> <p><i>Staff Comment: A Planting and Tree Retention Plan (Exhibit 3) was submitted with the project application. The planting plan includes a 10-foot landscape strip along the project site's Index Avenue NE frontage, however 7 feet of the landscape strip is within the public right-of-way resulting in 3 feet of onsite landscaping. The Planting and Tree Retention Plan (Exhibit 3) includes the installation of the following plants within the landscape strip: serviceberry trees, dwarf maiden grass, kinnikinnick, heartleaf bergenia, red daylily, daylily, autumn joy sedum, crimson pygmy dwarf burning bush, harbor dwarf nandina, bush cinquefoil, and little princess spirea. The City's landscaping regulations require a 10-foot onsite landscape strip as well as landscaping of all areas</i></p>

	<p><i>of undeveloped right-of-way. Therefore, staff recommends, as a condition of approval, that a detailed landscape plan (in compliance with RMC 4-8-120D12) be submitted at the time of Utility Construction Permit application. The detailed landscape plan shall include a minimum 10-foot onsite landscape strip along the site's Index Avenue NE street frontage in addition to the landscaping proposed within the undeveloped right-of-way abutting the project site. The detailed landscape plan shall be submitted to the Current Planning Project Manager for review and approval. The landscaping shall be installed prior to final short plat approval, unless a demolition permit is obtained for the removal of the existing duplex and all inspections completed, then the landscaping shall be installed prior to final building inspection for the new residential structure(s).</i></p> <p><i>Staff also received comments from the City's Community Services Division expressing concerns that street trees along Index Avenue NE could interfere with existing overhead power lines. Therefore, staff recommends, as a condition of approval, that consideration to the existing overhead power lines be considered when selecting appropriate street trees for the project site, please refer to the Approved Tree List available at www.rentonwa.gov.</i></p>
<p>Compliant if condition of approval is met</p>	<p>Tree Retention: The City's adopted Tree Retention and Land Clearing Regulations require the retention of 20 percent of trees in a residential development.</p> <p>Significant trees shall be retained in the following priority order:</p> <p>Priority One: Landmark trees; significant trees that form a continuous canopy; significant trees on slopes greater than twenty percent (20%); Significant trees adjacent to critical areas and their associated buffers; and Significant trees over sixty feet (60') in height or greater than eighteen inches (18") caliper.</p> <p>Priority Two: Healthy tree groupings whose associated undergrowth can be preserved; other significant native evergreen or deciduous trees; and Other significant non-native trees.</p> <p>Priority Three: Alders and cottonwoods shall be retained when all other trees have been evaluated for retention and are not able to be retained, unless the alders and/ or cottonwoods are used as part of an approved enhancement project within a critical area or its buffer.</p> <p>A minimum tree density shall be maintained on each residentially zoned lot. Lots developed with detached single family dwelling units in the R-10 zone are exempt from the minimum tree density requirements. For multi-family development, the minimum tree density is four (4) significant trees for every five thousand (5,000) square feet. The tree density may consist of existing trees, replacement trees, trees required pursuant to RMC 4-4-070F1, Street Frontage Landscaping Required, or a combination. Any protected tree, whether retained or newly planted, that is in excess of the individual lot's minimum tree density shall not contribute to the total number of trees that are required to be retained for the Land Development Permit.</p> <p><i>Staff Comment: The submitted Planting and Tree Retention Plan (Exhibit 3) identifies one existing fir tree on the project site, which is proposed to remain. The proposal to retain the only protected tree on site would result in the retention of 100 percent of the existing trees; which is in compliance with the minimum number of trees required to be retained. Under the previous preliminary short plat approval decision (LUA08-119), concern had been expressed regarding the health of the existing fir tree and a condition requiring the submittal of an arborist report had been imposed on the short plat approval. Staff recommends, as a condition of approval, that an arborist report be</i></p>

	<p><i>submitted prior to final short plat approval evaluating the health of the existing Douglas fir tree. If the Douglas fir is determined to be in good health then protection measures as outlined under RMC 4-4-130H9 shall be provide for the subject tree to prevent any possible further harm to its health, if it is not in good health replacement trees shall be provided in compliance with RMC 4-4-130H1e.</i></p> <p><i>If the existing duplex is to remain on the project site, the proposal will need to comply with the minimum tree density requirements and install 4 (minimum 2 inch caliper) trees for every 5,000 square feet of lot area on the project site. If the existing duplex is removed, compliance with this requirement would be verified at the time of building permit review for the new residences. Therefore staff recommends, as a condition of approval, that a tree planting plan be provided prior to final short plat approval demonstrating compliance with the minimum tree density requirements. The plan shall be submitted to the Current Planning Project Manager for review and approval. All trees shall be installed prior to final short plat approval. If a demolition permit is obtained and all inspections completed prior to final short plat approval, compliance with this standard would be verified at the time of building permit review.</i></p> <p><i>Any retained trees in excess of the minimum tree density requirement on an individual lot are required to be located within a tree protection tract. If the existing duplex is removed and individual single family residences are constructed on the new lots, then this section would not be applicable as the minimum tree density requirements do not apply to detached single family development in the R-10 zone. If the existing duplex is retained, compliance with this standard would be verified prior to final short plat approval.</i></p>
✓	<p>Parking: Parking regulations require that a minimum of two parking spaces be provided for each detached dwelling. Parking regulations require that a minimum and maximum of 1.6 spaces be provided per 3 bedroom or large dwelling unit; 1.4 spaces per 2 bedroom dwelling unit; and 1.0 space per 1 bedroom or studio dwelling unit.</p> <p>Driveway cuts are required to be a minimum of 5 feet from property lines and new driveways may be a maximum of 16 feet in width at the property line. Maximum driveway slopes shall not exceed fifteen percent (15%); provided, that driveways exceeding eight percent (8%) shall provide slotted drains at the lower end with positive drainage discharge to restrict runoff from entering the garage/residence or crossing any public sidewalk.</p> <p><i>Staff Comment:</i> Based on the existing driveway locations shown on the Planting and Tree Retention Plan (Exhibit 3), it appears that the driveway located on Lot 1 would comply with the 5-foot setback requirement, however it is unclear whether the 2 required parking spaces are provided on site. It appears that the existing driveway on Lot 2 would maintain a 4-foot setback from the property line, which is less than the minimum 5-foot setback required. If the existing duplex is to remain on the project site, the proposed short plat would not increase an existing non-conforming situation, therefore the proposal would not be required to alter the existing driveways. If the existing duplex is removed, compliance with this standard would be verified at the time of building permit review.</p>

14. **Design Standards:** Residential Design and Open Space Standards (RMC 4-2-115) are applicable in the R-10 zone. The Standards implement policies established in the Land Use Element of the Comprehensive Plan. Compliance with Site Design Standards must be demonstrated prior to approval of the subdivision. Compliance with Residential Design Standards would be verified prior to issuance of the

building permit for the new residential dwellings. The proposal is consistent with the following design standards, unless noted otherwise:

✓	<p>Lot Configuration: Developments of more than four (4) structures shall incorporate a variety of home sizes, lot sizes, and unit clusters.</p> <p>Dwellings shall be arranged to ensure privacy so that side yards abut other side yards (or rights-of-way) and do not abut front or back yards.</p> <p>Lots accessed by easements or pipestems shall be prohibited.</p> <p><u>Staff Comment:</u> <i>The proposed lots would have front yards oriented to the east towards Index Avenue NE. No side yards would abut front or back yards and no easements or pipestems are proposed.</i></p>
Compliance not yet demonstrated	<p>Garages: Garages may be attached or detached. Shared garages are also allowed, provided the regulations of RMC 4-4-080 are met. Carports are not allowed.</p> <p>One of the following is required; the garage must be:</p> <ol style="list-style-type: none"> 1. Recessed from the front of the house and/or front porch at least eight feet (8'), or 2. Detached and set back from the front of the house and/or porch at least six feet (6'). <p>Additionally, all of the following is required:</p> <ol style="list-style-type: none"> 1. Garage design shall be of similar design to the homes, and 2. If sides of the garage are visible from streets, sidewalks, pathways, trails, or other homes, architectural details shall be incorporated in the design. <p>If shared garages are allowed, they may share the structure with other homes and all of the following is required:</p> <ol style="list-style-type: none"> 1. Each unit has garage space assigned to it, and 2. The garage is not to be located further than one hundred sixty feet (160') from any of the housing units to which it is assigned, and 3. The garage shall not exceed forty four feet (44') in width, and shall maintain an eight foot (8') separation from any dwellings. <p><u>Staff Comment:</u> <i>Compliance for this standard would be verified at the time of building permit review.</i></p>
N/A	<p>Standards for Parks: For developments that are less than ten (10) net acres: No park is required, but is allowed.</p> <p>For developments that are greater than ten (10) net acres: A minimum of one one-half (.5) acre park, in addition to the common open space requirement, is required.</p> <p><u>Staff Comment:</u> <i>Not applicable</i></p>
N/A	<p>Standards for Common Open Space: Developments of three (3) or fewer dwelling units: No requirement to provide common open space.</p> <p>Developments of four (4) or more units: Required to provide common open space as follows:</p> <ol style="list-style-type: none"> 1. For each unit in the development, three hundred fifty (350) square feet of common open space shall be provided.

	<ol style="list-style-type: none"> 2. Open space shall be designed as a park, common green, pea-patch, pocket park, or pedestrian entry easement in the development and shall include picnic areas, space for small recreational activities, and other activities as appropriate. 3. Open space shall be located in a highly visible area and be easily accessible to the neighborhood. 4. Open space(s) shall be contiguous to the majority of the dwellings in the development and accessible to all dwellings, and shall be at least twenty feet (20') wide. 5. A pedestrian entry easement can be used to meet the access requirements if it has a minimum width of twenty feet (20') with a minimum five feet (5') of sidewalk. 6. Pea-patches shall be at least one thousand (1,000) square feet in size with individual plots that measure at least ten feet by ten feet (10' x 10'). Additionally, the pea-patch shall include a tool shed and a common area with space for compost bins. Water shall be provided to the pea-patch. Fencing that meets the standards for front yard fencing shall surround the pea-patch with a one foot (1') landscape area on the outside of the fence. This area is to be landscaped with flowers, plants, and/or shrubs. 7. Grass-crete or other pervious surfaces may be used in the common open space for the purpose of meeting the one hundred fifty feet (150') distance requirement for emergency vehicle access but shall not be used for personal vehicle access or to meet off-street parking requirements. 8. Storm ponds may be used to meet the common open space requirement if designed to accommodate a fifty (50) year storm and to be dry ninety percent (90%) of the year. <p><i>Staff Comment: Not applicable</i></p>
<p>Compliance not yet demonstrated</p>	<p>Standards for Private Yards: Developments of three (3) or fewer dwelling units: Each individual dwelling shall have a private yard that is at minimum six hundred (600) square feet in size. Backyard patios and reciprocal use easements may be included in the calculation of private yard.</p> <p>Developments of four (4) or more dwelling units: Each ground-related dwelling shall have a private yard that is at least two hundred fifty (250) square feet in size with no dimension less than eight feet (8') in width.</p> <p>An additional two hundred fifty (250) square feet of open space per unit shall be added to the required amount of common open space for each unit that is not ground related.</p> <p><i>Staff Comment: Compliance with this standard would be verified at the time of building permit review. However, the new lots appear to provide enough room to accommodate a private yard.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Sidewalks, Pathways, and Pedestrian Easements: All of the following are required:</p> <ol style="list-style-type: none"> 1. Sidewalks shall be provided throughout the neighborhood. The sidewalk may disconnect from the road, provided it continues in a logical route throughout the development. 2. Front yards shall have entry walks that are a minimum width of three

	<p>feet (3') and a maximum width of four feet (4').</p> <ol style="list-style-type: none"> 3. Pathways shall be used to connect common parks, green areas, and pocket parks to residential access streets, limited residential access streets, or other pedestrian connections. They may be used to provide access to homes and common open space. They shall be a minimum three feet (3') in width and made of paved asphalt, concrete, or porous material such as: porous paving stones, crushed gravel with soil stabilizers, or paving blocks with planted joints. Sidewalks or pathways for parks and green spaces shall be located at the edge of the common space to allow a larger usable green and easy access to homes. 4. Pedestrian Easement Plantings: Shall be planted with plants and trees. Trees are required along all pedestrian easements to provide shade and spaced twenty feet (20') on center. Shrubs shall be planted in at least fifteen percent (15%) of the easement and shall be spaced no further than thirty six inches (36") on center. 5. For all homes that do not front on a residential access street, limited residential access street, a park, or a common green: Pedestrian entry easements that are at least fifteen feet (15') wide plus a five-foot (5') sidewalk shall be provided. <p><i>Staff Comment: Compliance with this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Primary Entry: Both of the following are required:</p> <ol style="list-style-type: none"> 1. The entry shall take access from and face a street, park, common green, pocket park, pedestrian easement, or open space, and 2. The entry shall include one of the following: <ol style="list-style-type: none"> a. Stoop: minimum size four feet by six feet (4' x 6') and minimum height twelve inches (12") above grade, or b. Porch: minimum five feet (5') deep and minimum height twelve inches (12") above grade. <p>Exception: in cases where accessibility (ADA) is a priority, an accessible route may be taken from a front driveway.</p> <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Façade Modulation: Both of the following are required:</p> <ol style="list-style-type: none"> 1. The primary building elevation oriented toward the street or common green shall have at least one articulation or change in plane of at least two feet (2') in depth; and 2. A minimum one side articulation that measures at least one foot (1') in depth shall occur for all facades facing streets or public spaces. <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Windows and Doors: All of the following are required:</p> <ol style="list-style-type: none"> 1. Primary windows shall be proportioned vertically, rather than

	<p>horizontally, and</p> <ol style="list-style-type: none"> 2. Vertical windows may be combined together to create a larger window area, and 3. All doors shall be made of wood, fiberglass, metal, or glass and trimmed with three and one-half inches (3 1/2") minimum head and jamb trim around the door, and 4. Screen doors are permitted, and 5. Primary entry doors shall face a street, park, common green, pocket park, or pedestrian easement and shall be paneled or have inset windows, and 6. Sliding glass doors are not permitted along a frontage elevation or an elevation facing a pedestrian easement. <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Scale, Bulk, and Character: All of the following are required:</p> <ol style="list-style-type: none"> 1. The primary building form shall be the dominating form and elements such as porches, principal dormers, or other significant features shall not dominate, and 2. Primary porch plate heights shall be one story. Stacked porches are allowed, and 3. To differentiate the same models and elevations, different colors shall be used, and 4. For single family dwellings, no more than two (2) of the same model and elevation shall be built on the same block frontage and the same model and elevation shall not be abutting. <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Roofs: Both of the following are required:</p> <ol style="list-style-type: none"> 1. Primary roof pitch shall be a minimum six to twelve (6:12). If a gable roof is used, exit access from a third floor must face a public right-of-way for emergency access, and 2. A variety of roofing colors shall be used within the development and all roof material shall be fire retardant. <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet demonstrated</p>	<p>Eaves: The following is required: Eaves shall be at least twelve inches (12") with horizontal fascia or fascia gutter at least five inches (5") deep on the face of all eaves.</p> <p><i>Staff Comment: Compliance for this standard would be verified at the time of building permit review.</i></p>
<p>Compliance not yet</p>	<p>Architectural Detailing: All of the following are required:</p>

<p>demonstrated</p>	<ol style="list-style-type: none"> 1. Three and one-half inches (3 1/2") minimum trim surrounds all windows and details all doors, and 2. At least one of the following architectural details shall be provided on each home: shutters, knee braces, flower boxes, or columns, and 3. Where siding is used, metal corner clips or corner boards shall be used and shall be at minimum two and one-half inches (2 1/2") in width and painted. If shutters are used, they shall be proportioned to the window size to simulate the ability to cover them, and 4. If columns are used, they shall be round, fluted, or strongly related to the home's architectural style. Six inches by six inches (6" x 6") posts may be allowed if chamfered and/or banded. Exposed four inches by four inches (4" x 4") and six inches by six inches (6" x 6") posts are prohibited. <p><u>Staff Comment:</u> Compliance for this standard would be verified at the time of building permit review.</p>
<p>Compliance not yet demonstrated</p>	<p>Materials and Color: All of the following are required:</p> <ol style="list-style-type: none"> 1. Acceptable exterior wall materials are: wood, cement fiberboard, stucco, stone, and standard sized brick three and one-half inches by seven and one-half inches (3 1/2" x 7 1/2") or three and five eighths inches by seven and five-eighths inches (3 5/8" x 7 5/8"). Simulated stone, wood, stone, or brick may be used to detail homes, and 2. When more than one material is used, changes in a vertical wall, such as from wood to brick, shall wrap the corners no less than twenty four inches (24"). The material change shall occur at an internal corner or a logical transition such as aligning with a window edge or chimney. Material transition shall not occur at an exterior corner, and 3. Multiple colors on buildings shall be provided. Muted deeper tones, as opposed to vibrant primary colors, shall be the dominant colors. Color palettes for all new structures, coded to the home elevations, shall be submitted for approval. 4. Gutters and downspouts shall be integrated into the color scheme of the home and be painted, or of an integral color, to match the trim color. <p><u>Staff Comment:</u> Compliance for this standard would be verified at the time of building permit review.</p>
<p>Compliance not yet demonstrated</p>	<p>Mail and Newspapers: All of the following are required:</p> <ol style="list-style-type: none"> 1. Mailboxes shall be clustered and located so as to serve the needs of USPS while not adversely affecting the privacy of residents; 2. Mailboxes shall be lockable consistent with USPS standard; 3. Mailboxes shall be architecturally enhanced with materials and details typical of the home's architecture; and 4. Newspaper boxes shall be of a design that reflects the character of the home. <p><u>Staff Comment:</u> Compliance with this standard would be verified at the time of</p>

	<i>building permit review.</i>
Compliance not yet demonstrated	<p>Hot Tubs, Pools, and Mechanical Equipment: Hot tubs and pools shall only be located in back yards and designed to minimize sight and sound impacts to adjoining property. Pool heaters and pumps shall be screened from view and sound insulated. Pool equipment must comply with codes regarding fencing.</p> <p><i>Staff Comment: Compliance with this standard would be verified at the time of building permit review.</i></p>
Compliance not yet demonstrated	<p>Utilities: Utility boxes that are not located in alleyways or away from public gathering spaces shall be screened with landscaping or berms.</p> <p><i>Staff Comment: Compliance with this standard would be verified at the time of building permit review.</i></p>
Compliance not yet demonstrated	<p>Dumpster/Trash/Recycling Collection Area: Both of the following are required:</p> <ol style="list-style-type: none"> 1. Trash and recycling containers shall be located so that they have minimal impact on residents and their neighbors and so that they are not visible to the general public; and 2. A screened enclosure in which to keep containers shall be provided or garages shall be built with adequate space to keep containers. Screened enclosures shall not be located within front yards. <p><i>Staff Comment: Compliance with this standard would be verified at the time of building permit review.</i></p>

15. **Critical Areas:** No critical areas are mapped on the project site.

16. **Compliance with Subdivision Regulations:** RMC 4-7 Provides review criteria for the subdivisions. The proposal is consistent with the following subdivision regulations if all conditions of approval are complied with:

Compliance	Subdivision Regulations and Analysis
✓	<p>Access: Each lot must have access to a public street or road. Access may be by a shared driveway per the requirements of the street standards.</p> <p>The maximum width of single loaded garage driveways shall not exceed nine feet (9') and double loaded garage driveways shall not exceed sixteen feet (16').</p> <p><i>Staff Comment: Both lots would have direct access to Index Avenue NE, which is a public street. There are no garages on the project site. The existing driveways each have a width of 10 feet, which would not exceed the maximum width permitted for a double loaded garage. If the duplexes are removed from the project site, driveway widths for the new residential structures would be verified at the time of building permit review.</i></p>
✓	<p>Blocks: Blocks shall be deep enough to allow two tiers of lots.</p> <p><i>Staff Comment: Not applicable.</i></p>
✓	<p>Lots: The size, shape, orientation, and arrangement of the proposed lots comply with the requirements of the Subdivision Regulations and the Development Standards of the R-10 zone and allow for reasonable infill of developable land. All of the proposed lots</p>

	<p>meet the requirements for minimum lot size, depth, and width.</p> <p><i>Staff Comment: The proposed lots are rectangular in shape and oriented to provide front yard areas facing Index Avenue NE, a public street. See previous discussion on lot dimensions under FOF 13.</i></p>
✓	<p>Streets: The proposed street system shall extend and create connections between existing streets per the Street Standards outlined in RMC 4-6-060 Street Standards.</p> <p><i>Staff Comment: The existing right of way width in Index Ave NE, fronting the site, is 50 feet. Index Ave NE is classified as a residential access street. The minimum street width for a residential access street is 53 feet. To meet the City's complete street standards, street improvements including a pavement width of 26 feet, curb, gutter, an 8 foot planter strip, 5 foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site per City code 4-6-060. To build this street section one and half feet of right of way will be required to be dedicated to the City fronting the site in Index Ave NE.</i></p> <p><i>Under the previous short plat approval (LUA08-119), which expired on November 14, 2013, a fee in lieu of installing frontage improvements was granted. As the decision regarding the fee in lieu was granted in conjunction with the previous short plat decision, this decision expired with the expiration of the short plat. Therefore, the proposed short plat shall be required to provide the above discussed street frontage improvements and right-of-way dedication.</i></p> <p><i>A Traffic Impact Fee would be required for the future houses. The 2016 Transportation Impact Fee is \$2,951.17, credit would be given for the existing duplex. The fee in effect at the time of building permit application is applicable to this project and is payable at the time of building permit issuance.</i></p>
✓	<p>Relationship to Existing Uses: The proposed project is compatible with existing surrounding uses.</p> <p><i>Staff Comment: The project site is currently surrounded by a variety of existing duplexes and single family residences. The proposal to subdivide the subject property and either retain the existing duplex or remove the duplex and replace with single family residences would be compatible with the existing development pattern in the neighborhood.</i></p>

17. Availability and Impact on Public Services:

Compliance	Availability and Impact on Public Services Analysis
✓	<p>Police and Fire: Police and Fire Prevention staff indicates that sufficient resources exist to furnish services to the proposed development; subject to the condition that the applicant provides Code required improvements and fees. Fire impact fees are applicable at the rate of \$495.10 per single family unit, credit would be given for the existing duplex. This fee is paid at time of building permit issuance.</p>
✓	<p>Schools: It is anticipated that the Renton School District can accommodate any additional students generated by this proposal at the following schools: Highlands Elementary, McKnight Middle School and Renton High School. Students attending Highlands Elementary School would walk to school along the following route: north along Index Avenue NE to NE 6th Place where they would walk west along NE 6th Place to Harrington Avenue NE where they would walk north along Harrington to Highlands Elementary School. Students attending McKnight Middle School would be bussed to</p>

	<p>their school. The closest stop is located approximately 0.19 miles from the project site at Harrington Avenue NE and NE 7th Street (along the same route students walking to Highlands Elementary would walk). Students attending Renton High School would be bussed to school. The closest stop is located approximately 0.3 miles from the project site at Edmonds Avenue NE and NE 5th Place. Students would walk south along Index Avenue NE to NE 5th Place where they would walk west to the intersection of NE 5th Place and Edmonds Avenue NE. There appears to be adequate area along the walking routes to Highlands Elementary and the bus stops to provide for safe walking conditions.</p> <p>A School Impact Fee, based on new single-family lots, will be required in order to mitigate the proposal's potential impacts to the Renton School District. The fee is payable to the City as specified by the Renton Municipal Code. Currently the fee is assessed at \$5,541.00 per single family residence, credit would be given for the existing duplex.</p>
<p>✓</p>	<p>Parks: A Park Impact Fee would be required for the future houses. The 2016 Park Impact Fee is \$1,887.94, credit would be given for the existing duplex. The fee in effect at the time of building permit application is applicable to this project and is payable at the time of building permit issuance.</p>
<p>✓</p>	<p>Storm Water: An adequate drainage system shall be provided for the proper drainage of all surface water.</p> <p><i>Staff Comment: A Drainage Report (Exhibit 6) dated October 20, 2015, prepared by Office Engineers, was submitted with the short plat application. The report complies with the 2009 King County Surface Water Manual and the 2009 City of Renton Amendments to the KCSWM, Chapters 1 and 2. All core requirements have been discussed in the report. Based on the City's flow control map, this site falls within the Peak Rate Flow Control Standard, Existing Conditions. The project is exempt from flow control as the proposed two lot short plat will not create more than 0.10 cfs during the 100 year storm event in the developed condition. One existing duplex is proposed to be demolished and two new homes will be built on each new lot. As proposed, the two lot short plat is subject to Small Project Drainage Review. However, the project is required to install full frontage improvements including a minimum of a 12 inch storm line in Index Avenue NE. This improvement will trigger Targeted Drainage Review. A revised TIR will be required at construction permit submittal.</i></p> <p><i>A geotechnical report (Exhibit 8), dated August 21, 2015 was provided by Robert Pride PE, Geotechnical Engineer. Two test pit excavations were dug one at the rear and one at the front of the site. The results of the excavations showed that the soils found on site included fill material consisting of topsoil with fine silty sands and sands for the first 3 to 5 feet in depth. The medium dense soil will support infiltration using infiltration trenches to collect the roof runoff and impervious surface area created from the new homes. An infiltration value of 25 min/inch should be used in the design and sizing of the facilities. The soils are suitable for limited infiltration.</i></p> <p><i>Surface water system development fee is \$1,350.00 for the new lot. Credit will be given to the existing home.</i></p>
<p>✓</p>	<p>Water: Water service is provided by the City of Renton. There is a 6 inch ductile iron water main in Index Ave NE. The 6 inch water main can provide 1,400 gpm. The project is in the 320 water pressure zone. There are two 3/4 inch domestic water meters serving the existing duplex. Separate water meters shall be provided to each new lot.</p> <p><i>The system development fee for water is based on the size of the new domestic water</i></p>

	<p><i>meter that will serve the new home on the new lot. Fee for ¾ inch or 1 inch water meter is will increase to \$3,245.00 in January 2016. The fee for a ¾ inch meter installed by the City is \$3,250.000. This is payable at the time the utility construction permit is issued.</i></p> <p><i>All new construction must have a fire hydrant capable of delivering a minimum of 1,000 gpm and must be located within 300 feet of the structures. A minimum of one new hydrant will be required to be installed.</i></p>
✓	<p>Sanitary Sewer: Sewer service is provided by the City of Renton. There is an 8 inch sewer main in Index Ave NE. A separate side sewer stub shall be provided to each new lot. Side sewers shall be a minimum 2% slope. There is an existing side sewer to the building. System development charge (SDC) for sewer is based on the size of the new domestic meter(s). Sewer fees for a ¾" meter or 1 inch meter will increase to \$2,242.00 per new single family lot in January 2016. This is payable at the time the utility construction permit is issued. This parcel is subject to the payment of a special assessment for sewer. East Renton Interceptor SAD is \$224.52 per new lot. Credit will be given to the existing duplex connected to sewer.</p>

I. CONCLUSIONS:

1. The subject site is located in the Residential High Density (HD) Comprehensive Plan designation and complies with the goals and policies established with this designation, see FOF 12.
2. The subject site is located in the Residential – 10 (R-10) zoning designation and complies with the zoning and development standards established with this designation provided the applicant complies with City Code and conditions of approval, see FOF 13.
3. The proposed short plat complies with the Residential Design and Open Space Standards provided the applicant complies with City Code and conditions of approval, see FOF 14.
4. There are no critical areas mapped on the project site.
5. The proposed short plat complies with the subdivision regulations as established by City Code and state law provided all advisory notes and conditions are complied with, see FOF 16.
6. The proposed short plat complies with the street standards as established by City Code, provided the project complies with all advisory notes and conditions of approval contained herein, see FOF 16.
7. There are safe walking routes to the Elementary school and school bus stops, see FOF 17.
8. There are adequate public services and facilities to accommodate the proposed short plat, see FOF 17.

J. DECISION:

The Syrbu III Preliminary Short Plat, File No. LUA15-000766, as depicted in Exhibit 2, is approved and is subject to the following conditions:

1. The applicant shall either:
 - a. Obtain a demolition permit and complete all required inspections for the removal of the existing duplex and all accessory structures prior to recording of the short plat; or
 - b. An application shall be submitted for site plan review and a site plan review decision shall be issued prior to recording of the short plat.
2. The applicant shall provide information demonstrating that the existing duplex complies with the building height requirements or shall obtain a demolition permit and complete all required inspections prior to short plat recording.
3. A detailed landscape plan (in compliance with RMC 4-8-120D12) shall be submitted at the time of Utility Construction Permit application. The detailed landscape plan shall include a minimum 10-foot onsite landscape strip along the site's Index Avenue NE street frontage in addition to the landscaping proposed within the undeveloped right-of-way abutting the project site. The detailed landscape plan

shall be submitted to the Current Planning Project Manager for review and approval. The landscaping shall be installed prior to final short plat approval, unless a demolition permit is obtained for the removal of the existing duplex and all inspections completed, then the landscaping shall be installed prior to final building inspection for the new residential structure(s).

4. Consideration to the existing overhead power lines shall be considered when selecting appropriate street trees for the project site, please refer to the Approved Tree List available at www.rentonwa.gov.
5. An arborist report shall be submitted prior to final short plat approval evaluating the health of the existing Douglas fir tree. If the Douglas fir is determined to be in good health then, protection measures as outlined under RMC 4-4-130H9 shall be provided for the subject tree to prevent any possible further harm to its health, if it is not in good health replacement trees shall be provided in compliance with RMC 4-4-130H1e.
6. A tree planting plan shall be provided prior to final short plat approval demonstrating compliance with the minimum tree density requirements. The plan shall be submitted to the Current Planning Project Manager for review and approval. All trees shall be installed prior to final short plat approval. If a demolition permit is obtained and all inspections completed prior to final short plat approval, compliance with this standard would be verified at the time of building permit review.

DATE OF DECISION ON LAND USE ACTION:

SIGNATURE:



Jennifer Henning, Planning Director

12/1/2015

Date

TRANSMITTED this 1st day of December, 2015 to the Owner/Applicant/Contact:

Owner/Applicant:
Vyacheslau & Natalya Syrbu
1917 Jones Avenue NE
Renton, WA 98506

Contact:
Jim Hanson, Hanson Consulting
17446 Mallard Cove Lane
Mt Vernon, WA 98274

TRANSMITTED this 1st day of December, 2015 to the Parties of Record:

No parties of record

TRANSMITTED this 1st day of December, 2015 to the following:

Chip Vincent, CED Administrator
Brianne Bannwarth, Development Engineering Manager
Jan Conklin, Development Services
Vanessa Dolbee, Current Planning Manager
Fire Marshal

K. LAND USE ACTION APPEALS, REQUEST FOR RECONSIDERATION, & EXPIRATION:

The administrative land use decision will become final if the decision is not appealed within 14 days of the decision date.

APPEAL: This administrative land use decision will become final if not appealed in writing to the Hearing Examiner on or before 5:00 PM on December 15, 2015. An appeal of the decision must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680), together with the required fee to the Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. RMC 4-8-110.B governs appeals to the Hearing Examiner and additional information regarding the appeal process may be obtained from the City Clerk's Office, (425) 430-6510.

EXPIRATION: The administrative short plat decision will expire two (2) years from the date of decision. A single one (1) year extension may be requested pursuant to RMC 4-7-070.M.

RECONSIDERATION: Within 14 days of the decision date, any party may request that the decision be reopened by the approval body. The approval body may modify his decision if material evidence not readily discoverable prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the approval body finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal time frame.

THE APPEARANCE OF FAIRNESS DOCTRINE: provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.

City of Renton
Syrbu III Short Plat
LAND USE ACTION NO. LUA-08-119-SHPL
LAND RECORD NO. LND-20-0531

RECORDING NO.

VOL./PAGE

LOT AREAS

Total Lot = 9,632 s.f. ± or 0.22 acres ±
LOT 1 = 4,816 s.f. ± or 0.11 acres ±
LOT 2 = 4,816 s.f. ± or 0.11 acres ±

LOT ADDRESSES

LOT 1 = 615 Index Ave. NE
LOT 2 = 613 Index Ave. NE

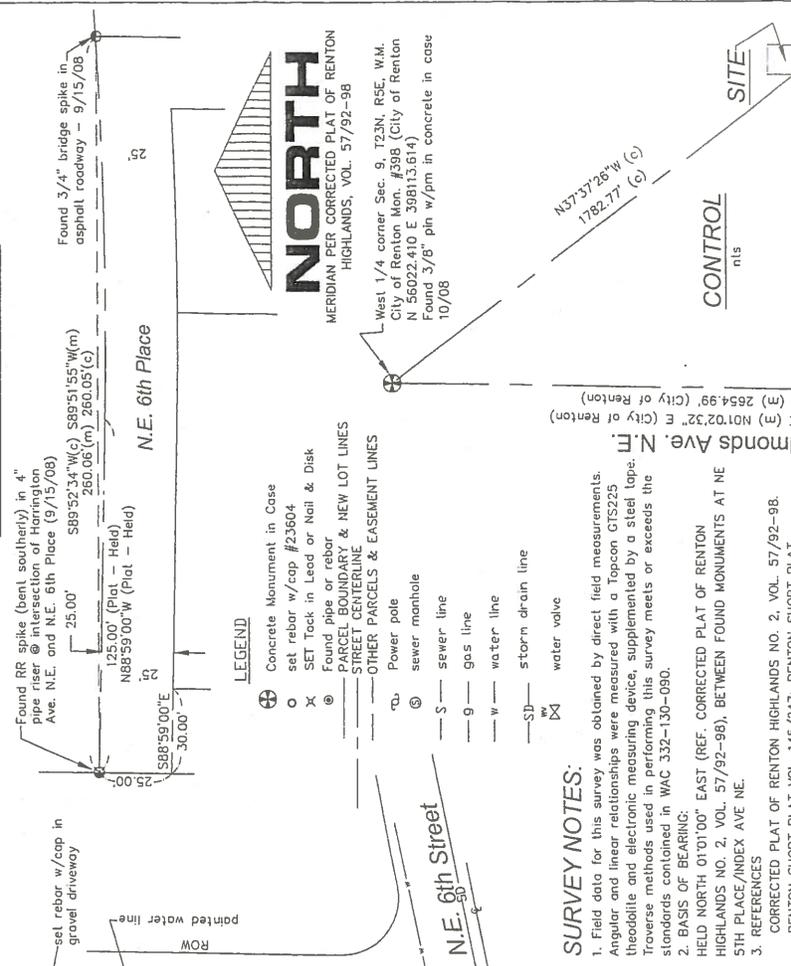
SCALE: 1 inch = 30 ft



PORTION OF

SW 1/4 of SW 1/4, S 9 T 23 N, R 5 E, W.M.
and NW 1/4 of SW 1/4, S 9 T 23 N, R 5 E, W.M.

DETAIL: NORTHEAST BLOCK CORNER



LEGEND

- ⊕ Concrete Monument in Case
- set rebar w/cap #23604
- × SET Tack in Lead or Nail & Disk
- ⊙ Found pipe or rebar
- ⊖ PARCEL BOUNDARY & NEW LOT LINES
- ⊕ STREET CENTERLINE
- ⊖ OTHER PARCELS & EASEMENT LINES
- ⊙ Power pole
- ⊖ sewer manhole
- ⊖ S sewer line
- ⊖ g gas line
- ⊖ w water line
- ⊖ SD storm drain line
- ⊖ W water valve

SURVEY NOTES:

1. Field data for this survey was obtained by direct field measurements. Angular and linear relationships were measured with a Topcon GTS225 theodolite and electronic measuring device, supplemented by a steel tape. Traverse methods used in performing this survey meets or exceeds the standards contained in WAC 332-130-080.
2. BASIS OF BEARING:
HELD NORTH 01°01'00" EAST (REF. CORRECTED PLAT OF RENTON HIGHLANDS NO. 2, VOL. 57/92-98), BETWEEN FOUND MONUMENTS AT NE 5TH PLACE/INDEX AVE NE
3. REFERENCES
CORRECTED PLAT OF RENTON HIGHLANDS NO. 2, VOL. 57/92-98.
RENTON SHORT PLAT VOL. 145/247; RENTON SHORT PLAT 157/168; RENTON SHORT PLAT 239/127; RENTON SHORT PLAT VOL. 236/100.
4. The location of utilities as shown serving the subject property have been taken from public records. We cannot certify to their accuracy and/or completeness. Before commencing construction involving excavation or removal of existing structures, call a locating service or 811 for underground utility locations.

Found 2" brass disk w/"x" stamped "LS23613-1994" in concrete in case - 9/15/08

Found 2" brass disk w/"x" stamped "LS23613-1994" in concrete in case - 9/15/08

Found 2" brass disk w/"x" stamped "LS23613-1994" in concrete in case - 9/15/08

Found 3/8" pin w/pin in concrete in case - 10/08

Southwest corner Sec. 9, T23N, R5E, W.M. City of Renton Mon. #612 (N 55213.302 398098.887) Found 3/8" pin w/pin in concrete in case - 10/08

REVISED 7/28/15 ADDED UTILITY INFORMATION

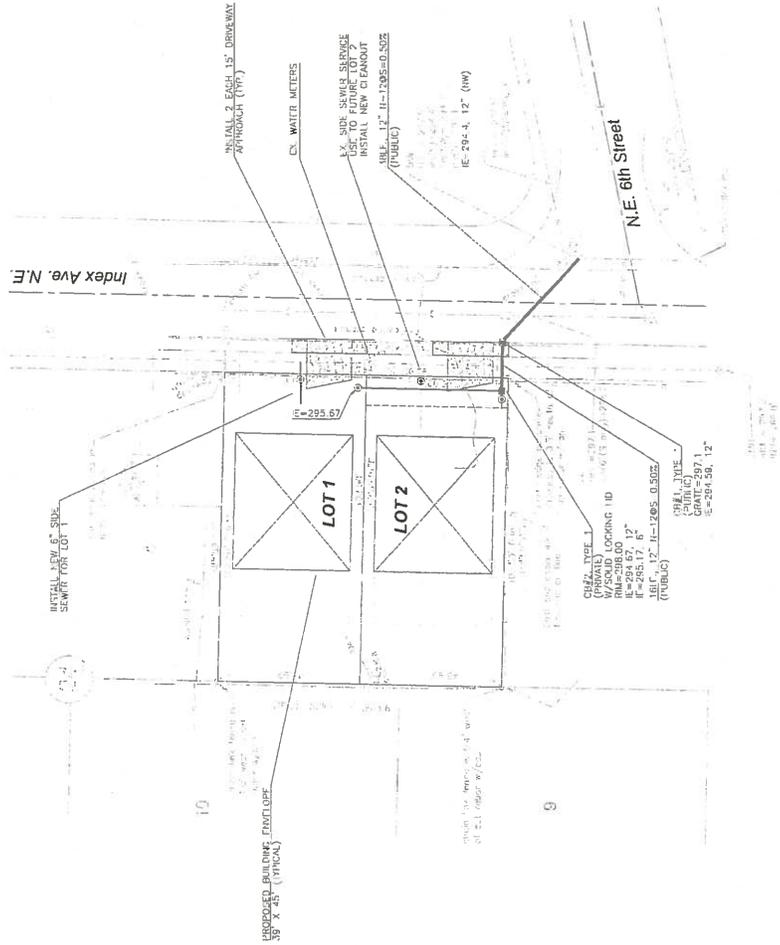
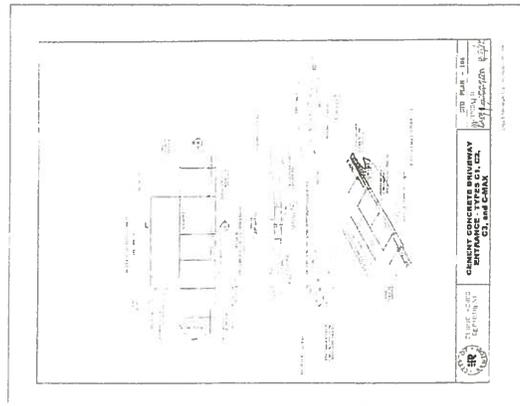
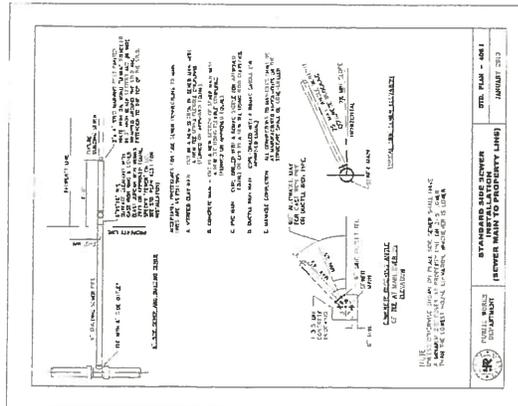
SURVEY FOR:
Natalya and Vyacheslav Syrbu
P.O. Box 2251
RENTON, WA. 98056

SCHROETER LAND SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Box 813, Seahurst, Washington 98062 (206) 242-6621 FAX (206) 543-9675

DWN. BY: law DATE: 10/7/09 JOB NO. 541722
CHKD. BY: DATE: FIELD 10/4/08 PROJECT NO. 0808689P
Revised 4/13/09 SCALE: 1" = 30' SHEET 1 OF 2

A PORTION OF THE SW 1/4 OF SECTION 9, TOWNSHIP 23 N., RANGE 5 EAST, W.M., CITY OF RENTON, WASHINGTON

SYRBU III SHORT PLAT PRE 15-000323



GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet

RECOMMENDED FOR APPROVAL
 By: _____ Date: _____
 By: _____ Date: _____
 By: _____ Date: _____

NATALYA AND VYACHESLAV SYRBU
 SYRBU III SHORT PLAT
 UTILITIES/DRAINAGE/GRADING
 613 INDEX AVENUE NE

CITY OF RENTON
 Planning/Building/Public Works Dept.



DATE APPROVED: _____
 BY: _____

REVISION
 NO. _____ DATE APPROVED _____ BY _____



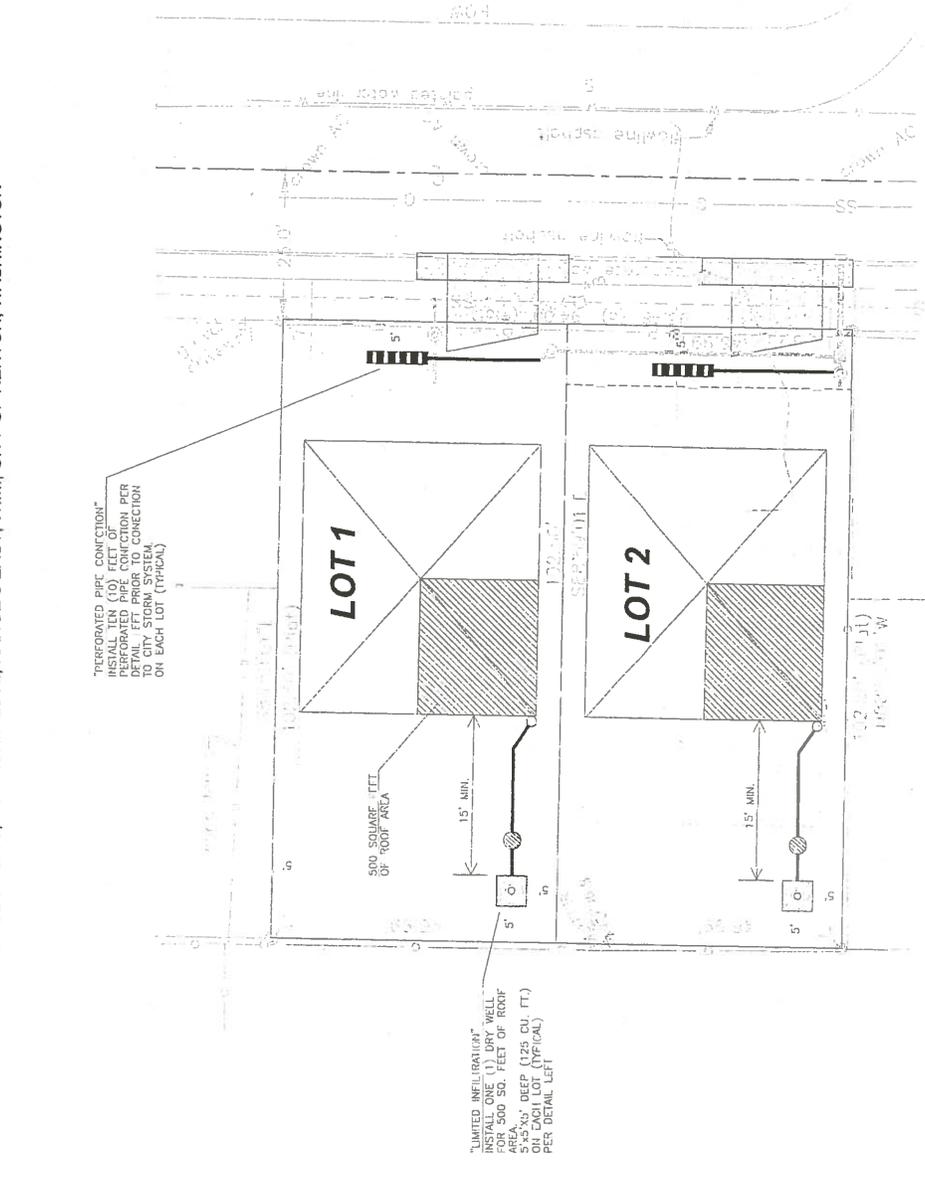
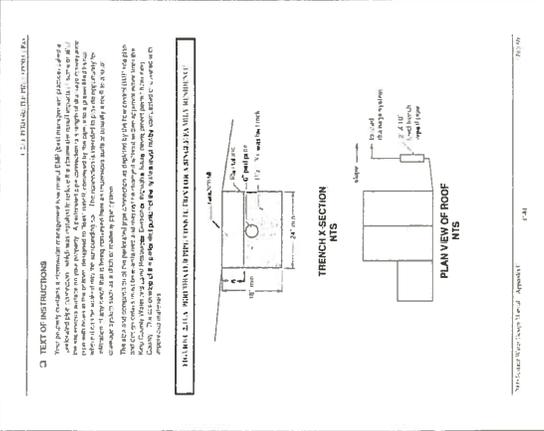
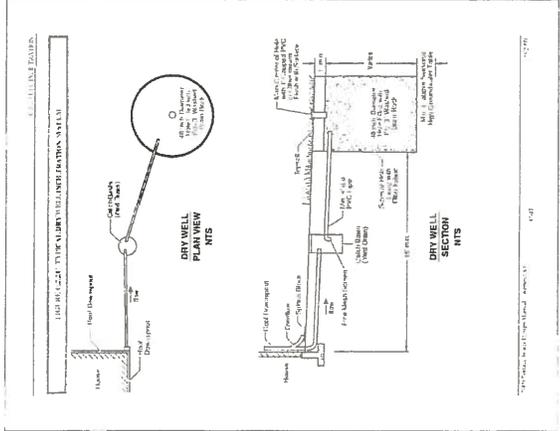
OFFE ENGINEERS
 1303 SOUTH EAST 15TH PLACE
 RENTON, WASHINGTON 98148
 CONTACT: DANIELA OFFE, P.E.



CALL 811 BEFORE YOU DIG!

EXHIBIT 4

A PORTION OF THE SW 1/4 OF SECTION 9, TOWNSHIP 23 N., RANGE 5 EAST, W.M., CITY OF RENTON, WASHINGTON



RECOMMENDED FOR APPROVAL
 By: _____ Date: _____
 By: _____ Date: _____
 By: _____ Date: _____

10/20/2015
 NATALYA AND VYACHESLAV SYRBU
 SYRBU III SHORT PLAT
 DRAINAGE BMP'S
 613 INDEX AVENUE NE

CITY OF RENTON
 Planning/Building/Public Works Dept.

SCALE
 1" = 10'

NO. DATE APPRO. BY

CALL 811 BEFORE YOU DIG!

OFFE ENGINEERS
 13972 S. EAST 15TH PLACE
 RENTON, WASHINGTON 98058
 PHONE: 425-290-3412
 CONTACT: DABRELL OFFE, P.E.

Syrbu III Short Plat

PRE 15-000307

613 Index Avenue NE
Renton, Washington 98056
King County Tax #722780-0655

DRAINAGE REPORT

October 20, 2015

Prepared for:
Jim Hanson
17446 Mallard Cove Lane
Mt. Vernon, Washington 98274
(360) 840-9519 office
jchanson@frontier.com

Prepared by:
Offe Engineers, PLLC
Darrell Offe, P.E.
13932 SE 159th Place
Renton, Washington 98058-7832
(425) 260-3412 office
darrell.offe@comcast.net



EXHIBIT 6

RECEIVED

OCT 21 2015

PLANNING DEPARTMENT
KING COUNTY

**Entire Document
Available Upon Request**

August 21, 2015

Mr. James Hanson
17446 Mallard Cove Lane
Mt. Vernon, WA 98274

Re: **Geotechnical Recommendations**
Proposed Residences
613 and 615 Index Avenue NE
Renton, Washington

RECEIVED

OCT 21 2015

CITY OF RENTON
PLANNING DIVISION

Dear Mr. Hanson,

This report presents the results of our site investigation for the proposed residences to be constructed on Lots 1 and 2 located on the west side of Index Avenue NE in Renton. It is understood that the proposed buildings will be located on the east side of the lots and will have driveway access from Index Avenue.

The purpose of this report is to document existing subsoil and geologic conditions, and to provide design recommendations for site development and foundation design. References include geologic mapping by Booth, et al and previous geotechnical investigations performed in this area of Renton.

Site Conditions

This property is occupied by an existing structure at the south end of the site. There is an existing pond on the NW corner of the property that holds shallow water from prior rainfall, and it is understood that this pond will remain in place. There is a gentle slope rising up from the NW to SE corner of the property with a rise in elevation of about 28 feet.

Geologic research shows that this property is underlain by Vashon Recessional deposits (Qvr) that will provide satisfactory support for each of the two residences. These lots are covered with three feet of loose fill soils that are underlain by loose topsoil and then medium dense recessional silty sands.

Two hand auger test borings were drilled to confirm depths to bearing soils, and they are shown on the attached Drawing No. 1. Summary logs of the subsoil conditions are described below:

- HA-1 Located at the rear of the 615 duplex unit
- 0.0 to 3.0ft FILL – Silty Sand; grey brown, dry, loose;
- 3.0 to 3.5ft Topsoil – Silty Sand with organics; loose, grey
- 3.5 to 5.0ft Silty Sand; brown, slightly moist, medium dense encountered;

EXHIBIT 8

ADVISORY NOTES TO APPLICANT

LUA15-000766



Application Date: October 21, 2015
Name: Syrbu II Short Plat

Site Address: 615 Index Ave NE
Renton, WA 98056-3710

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Engineering Review Comments

Contact: Jan Illian | 425-430-7216 | jillian@rentonwa.gov

Recommendations: WATER Water service is provided by the City of Renton. There is a 6 inch ductile iron water main in Index Ave NE. The 6 inch water main can provide 1,400 gpm. The project is in the 320 water pressure zone. There are two 3/4 inch domestic waters serving the existing duplex.

SEWER Sewer service is provided by the City of Renton. There is an 8 inch sewer main in Index Ave NE.

STORM There is a limited drainage conveyance system in Index Ave NE.

STREETS There is a 4 foot sidewalk fronting the site in Index Ave NE.

CODE REQUIREMENTS

WATER

1. Separate water meters shall be provided to each new lot.
2. System development fee for water is based on the size of the new domestic water meter that will serve the new home on the new lot. Fee for 3/4 inch or 1 inch water meter is \$3,090.00. Fee will increase to \$3,245.00 in January 2016.
3. Fee for a 3/4 inch meter installed by the City is \$3,250.000. This is payable at the time the utility construction permit is issued.
4. All new construction must have a fire hydrant capable of delivering a minimum of 1,000 gpm and must be located within 300 feet of the structures. A minimum of one new hydrant will be required to be installed.

SEWER

1. A separate side sewer stub shall be provided to each new lot. Side sewers shall be a minimum 2% slope. There is an existing side sewer to the building.
2. System development charge (SDC) for sewer is based on the size of the new domestic meter(s). Sewer fees for a 3/4" meter or 1 inch meter is \$2,135.00 per new single family lot. This is payable at the time the utility construction permit is issued. Fee will increase to \$2,242.00 in January 2016.
3. This parcel is subject to the payment of a special assessment for sewer. East Renton Interceptor SAD is \$224.52 per new lot. Credit will be given to the existing duplex connected to sewer.

SURFACE WATER

1. A drainage report dated October 20, 2015, prepared by Offe Engineers, was submitted with the site plan application. The report complies with the 2009 King County Surface Water Manual and the 2009 City of Renton Amendments to the KCSWM, Chapters 1 and 2. All core requirements have been discussed in the report. Based on the City's flow control map, this site falls within the Peak Rate Flow Control Standard, Existing Conditions. The project is exempt from flow control as the proposed two lot short plat will not create more than 0.10 cfs during the 100 year storm event in the developed condition. One existing home will be demolished and two new homes will be built on each new lot. As proposed, the two lot short plat is subject to Small Project Drainage Review. However, the project is required to install full frontage improvements including a minimum of a 12 inch storm line in Index Ave NE. This improvement will trigger Targeted Drainage Review. A revised TIR will be required at construction permit submittal.
2. A geotechnical report, dated August 21, 2015 was provided by Robert Pride PE, Geotechnical Engineer. Two test pit excavations were dug in the rear and front of the site. Results show soils found three to five feet in depth was fill material consisting of topsoil with fine silty sands and sands. The medium dense soil will support infiltration using infiltration trenches to collect the roof runoff and impervious surface area created from the new homes. An infiltration value of 25 min/inch should be used in the design and sizing of the facilities. The soils are suitable for limited infiltration.
3. Surface water system development fee is \$1,350.00 for the new lot. Credit will be given to the existing home.

TRANSPORTATION/STREET

1. Existing right of way width in Index Ave NE fronting the site is 50 feet. Index Ave NE is classified as a residential access street. Minimum street width for a residential street is 53 feet. To meet the City's complete street standards, street improvements including a pavement width of 26 feet, curb, gutter, an 8 foot planter strip, 5 foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site City code 4 6 060. To build this street section one and half feet of right of way will be required to be dedicated to the City fronting the site in Index Ave NE.
2. The short plat was previously approved in 2008 with a fee in lieu of installing frontage improvements. Since the short plat expired, the decision is no longer valid.
3. Current traffic impact fee is \$2,214.44 per new single family lot. Payment of the transportation impact fee is due at the time of issuance of the building permit. Traffic impact fee will increase to \$2,951.17 in January 2016. Credit will be given to the existing duplex.
4. Street lighting is not required for a 2 lot short plat.

EXHIBIT 9

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Engineering Review Comments

Contact: Jan Illian | 425-430-7216 | jillian@rentonwa.gov

5. The maximum width of single loaded garage driveway shall not exceed nine feet (9') and double loaded garage driveway shall not exceed sixteen feet (16').

GENERAL COMMENTS

1. Separate permits and fees for side sewer connection, water meter and storm connection will be required.
2. All construction utility permits for drainage and street improvements will require separate plan submittal. All utility plans shall conform to the City of Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans.
3. Rockeries or retaining walls greater than 4 feet in height will be require a separate building permit. Structural calculations and plans shall be submitted for review by a licensed engineer. Special Inspection is required.
4. A tree removal and tree retention/protection plan and a landscape plan shall be included with the civil plan submittal.

Transportation Engineering Review Comments

Contact: Brianne Bannwarth | 425-430-7299 | bbannwarth@rentonwa.gov

Recommendations: The applicant is requesting a fee in lieu from RMC 4 6 060F.2 "Minimum Design Standards Table for Public Streets and Alleys" to avoid constructing the required 0.5 foot curb and gutter, 8 foot wide planter strip, and a 5' sidewalk along the west side of the Residential Access street (Index Avenue NE) along the project frontage. The existing sidewalk along Index Avenue NE is in disrepair and does not meet current ADA standards. Therefore, staff recommends denial of the fee in lieu and supports the construction of the complete street standard with a storm drainage extension to the upstream property boundary for future connection.

Police Plan Review Comments

Contact: Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Recommendations: Minimal impact on Police Services.

Community Services Review Comments

Contact: Leslie Betlach | 425-430-6619 | LBetlach@rentonwa.gov

Recommendations: 1. Include 8 foot wide planting strip between sidewalk and curb to include one street tree that matures at a small height due to overhead powerlines.

Recommendations: 2. Parks Impact Fees per Ordinance 5670 applies.

Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | cthomas@rentonwa.gov

Recommendations: Environmental Impact Comments:

1. The fire impact fees are currently applicable at the rate of \$495.10 per single family unit. Credit will be granted for the removal of the existing duplex.

Code Related Comments:

1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. Existing hydrants can be counted toward the requirements as long as they meet current code including 5 inch storz fittings. There is one existing up to date hydrant within 300 feet. Due to existing 6 inch water main, if the home exceeds 3,600 square feet, an approved fire sprinkler system would be required.

2. Fire department apparatus access roadways are existing.

Technical Services Comments

Contact: Amanda Askren | 425-430-7369 | aaskren@rentonwa.gov

Recommendations: I have reviewed the preliminary short plat submittal and have the following comments:

Information needed for final short plat approval includes the following:

Note the new City of Renton land use action number and land record number, LUA15 000766 and LND 20 0531, respectively, on the final short plat submittal. The type size used for the land record number should be smaller than that used for the land use action number.

Provide short plat and lot closure calculations.

Do note encroachments, if any.



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Technical Services Comments

Contact: Amanda Askren | 425-430-7369 | aaskren@rentonwa.gov

Do include a "LEGEND" block for the short plat drawing, detailing any symbols used thereon.

On the final short plat submittal, remove all references pertaining to utilities facilities, trees, concrete, gravel, decks and other items not directly impacting the subdivision. These items are provided only for preliminary approval.



**Department of Community and Economic Development
Planning Division
ADMINISTRATIVE POLICY/CODE INTERPRETATION**

**ADMINISTRATIVE
POLICY/CODE
INTERPRETATION #:** CI-73 - REVISED

**MUNICIPAL
CODE SECTIONS:** 4-2-110.A, 4-2-110.B, 4-2-110.D, 4-2-115, 4-11-020, and 4-11-230

REFERENCE:

SUBJECT: Residential Building Height (RC thru RMF)

BACKGROUND: **Erratum Statement:** CI-73 implemented changes to the method of height measurement for structures in the RC through RMF zones. This erratum statement affects the two-story limitation for R-14 zoned properties by increasing it to three. Docket #116 advocates for increased height and story limits for select zones, including the RMF zone. The R-14 zone is transitional between the R-10 and RMF, and therefore R-14 standards are intended to offer a compromise between the restrictions of the R-10 and the allowances of the RMF zone. By limiting wall plate height to 24' yet allowing three stories, the R-14 zone would provide an appropriate transition between the R-10 and RMF zones with respect to building height.

By definition, the current method to determine a building's height is to measure the average height of the highest roof surface from the grade plane (i.e., average grade). The maximum height allowed in the RC through R-14 zones is 30 feet (35' in the RMF). The implementation of a "maximum height" (RMC 4-2-110.A) as applied to roofed buildings is inconsistent and contradictory with the intent and purpose statements of Title IV related to residential design (RMC 4-2-115). Further, regulating the height of non-roofed structures is unenforceable by Title IV (except for Building Code). The ambiguity and contradictory aspects of the code exist for two reasons:

1. Height is measured to the midpoint of a roof; a
2. Flat roofs are able to be as tall as buildings with increases the building's massing.

EXHIBIT 10