

**ADMINISTRATIVE SITE PLAN REPORT & VARIANCE REPORT & DECISION**

<b>REPORT DATE:</b>	November 24, 2014
<b>Project Name:</b>	Sunridge Townhomes
<b>Owner:</b>	VY Properties, 15012 SE 253rd Pl, Covington, WA 98042
<b>Applicant/Contact:</b>	Imad Bahbah, IHB Architects, 21620 84th Ave S, Ste. 200, Kent, WA 98032
<b>File Number:</b>	LUA14-001332, SA-A, VAR
<b>Project Manager:</b>	Clark H. Close, Associate Planner

**Project Summary:** The applicant is requesting Administrative Site Plan Review and an Administrative Variance for the construction of two 3-story multi-family structures containing a total of nine (9) townhome units. The site is located at 12228 SE Petrovitsky Road. The existing parcel is 19,889 square feet (sf) and is zoned Residential Multi-Family (RM-F). The proposed buildings would include 6,263 square feet of impervious area and a residential density of 23.3 net dwelling units per net acre (du/ac). The applicant is proposing two affordable housing units and is requesting bonus density in order to achieve a density above the maximum 20 du/acre. The two buildings have a combined area of 18,752 square feet. Access to the site would be gained from SE Petrovitsky Rd via a single driveway from an existing access and utility easement with Stonebrook Apartments to the west. The applicant is proposing one (1) surface stall and 12 garage stalls and associated utility improvements, such as water service, sanitary sewer, and gas connections. The applicant is requesting a variance from residential setback development standards of the Renton Municipal Code (RMC) 4-2-110A. Specifically, a rear yard setback variance of three feet (3') from the required rear yard setback of 15 feet and a variance from the west side yard setback requirement of 13 feet for a 5-foot and 11-foot reduction from the side yard setback measured from the 30-foot private access easement. There are five (5) significant trees onsite and the applicant is not proposing to retain any of the existing trees. There are no critical areas located on the site. A Geotechnical Study was conducted by GEO Group Northwest, Inc. in April 2009, and a Small Site Technical Information Report by Anstey Engineering in February 2014 indicates that the site will add less than 0.5 cfs of storm water runoff during a 100 year storm (0.38 cfs); thus, storm water detention is not required. The property will have 3,591 sf of new pollution generating surface, so water quality treatment for the asphalt area is proposed through a bio-swale.

<b>Project Location:</b>	12228 SE Petrovitsky Rd (APN 0739000055)		
<b>Site Area:</b>	19,889 SF (0.46 acres)	<b>Proposed New Bldg. Area (gross):</b>	18,752 SF



Project Location Map

**A. EXHIBITS:** *If the exhibit is more than five pages the first page is included as an attachment to the report and the full exhibit can be made available upon request.*

- Exhibit 1: Neighborhood Detail Map
- Exhibit 2: Site Plan
- Exhibit 3: Elevations (Colored), Buildings 1 & 2
- Exhibit 4: Building Floor Plans with Elevations, Buildings 1 & 2
- Exhibit 5: Landscape, Irrigation Plan and Irrigation Schedule
- Exhibit 6: Tree Inventory Plan
- Exhibit 7: Geotechnical Engineering Study by Geo Group Northwest, Inc., dated April 20, 2009
- Exhibit 8: Drainage Report by Benjamin P. Anstey, P.E., dated February 12, 2014
- Exhibit 9: Storm Drainage Technical Information Report by Benjamin P. Anstey, P.E., dated October 24, 2014
- Exhibit 10: Road and Grading Plan
- Exhibit 11: Drainage Plan
- Exhibit 12: Utilities Plan
- Exhibit 13: Renton School District Email
- Exhibit 14: Existing Photos, pages 1 and 2
- Exhibit 15: Advisory Notes to Applicant

**B. GENERAL INFORMATION:**

- 1. **Owner(s) of Record:** VY Properties  
15012 SE 253rd Pl, Covington, WA 98042
- 2. **Zoning Designation:** Residential Multi-Family (RM-F)
- 3. **Comprehensive Plan Land Use Designation:** Residential Multifamily (RM)
- 4. **Existing Site Use:** Vacant Residential
- 5. **Neighborhood Characteristics:**
  - a. **North:** Residential Multi-Family (RM-F)
  - b. **East:** Residential Multi-Family (RM-F)
  - c. **South:** Residential Low-Density single-family residential use and vacant land in R-4 zone
  - d. **West:** Residential Multi-Family (RM-F)
- 6. **Site Area:** 19,889 SF (0.46 acres)

**C. HISTORICAL/BACKGROUND:**

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5099	11/01/04
Zoning	N/A	5100	11/01/04
Annexation	N/A	5327	03/01/2008

SEPA and Site Plan  
Review

LUA09-112

N/A

Expired

**D. PUBLIC SERVICES:**

**1. Existing Utilities**

- a. Water: Water service will be provided by Soos Creek Water and Sewer District. A water availability certificate will be required to be submitted to the City prior to building permit application.
- b. Sewer: Sewer service will be provided by Soos Creek Water and Sewer District. A sewer availability certificate will be required to be submitted to the City prior to building permit application.
- c. Surface/Storm Water: There are private storm drainage improvements within the project location. There are storm improvements in SE Petrovitsky Road and in 110th Ave SE (*Exhibits 12 & 15*).

**2. Streets:** There are existing frontage improvements in SE Petrovitsky Rd. Access to the site is provided via an existing driveway off of SE Petrovitsky Rd.

**3. Fire Protection:** City of Renton Fire Department.

**E. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:**

**1. Chapter 2 Land Use Districts**

- a. Section 4-2-020: Purpose and Intent of Zoning Districts
- b. Section 4-2-060: Zoning Use Table – Uses Allowed in Zoning Designations
- c. Section 4-2-110: Residential Development Standards
- d. Section 4-2-115: Residential Design and Open Space Standards

**2. Chapter 3 Land Use Districts**

- a. Section 4-3-100: Urban Design Regulations

**3. Chapter 4 Property Development Standards**

- a. Section 4-4-030: Development Guidelines and Regulations – General
- b. Section 4-4-070: Landscaping
- c. Section 4-4-090: Refuse and Recyclables Standards
- d. Section 4-4-130: Tree Retention and Land Clearing Regulations

**4. Chapter 6 Streets and Utility Standards**

- a. Section 4-6-060: Street Standards

**5. Chapter 9 Procedures and Review Criteria**

- a. Section 4-9-200: Site Plan Review
- b. Section 4-9-250: Variances, Waivers, Modifications, and Alternates

**6. Chapter 11 Definitions**

**F. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:**

1. Land Use Element (Amended 2011)
2. Community Design Element (Amended 2011)

**G. ADMINISTRATIVE SITE PLAN REVIEW FINDINGS OF FACT:**

1. The applicant, Imad Bahbah, is requesting Administrative Site Plan Review and an Administrative Variance for for Sunridge Townhomes, LUA14-001332, SA-A, VAR. The proposed project includes the construction of two 3-story multi-family townhomes containing a total of nine (9) townhome units with a combined building size of 18,752 gross square feet. The applicant is requesting a variance from setback development standards including a rear yard setback variance of three feet (3') from the required rear yard setback of 15 feet and a variance from the west side yard setback for both buildings. Building #1 includes a side yard setback variance of five feet (5') and Building #2 includes a side yard setback variance of 11 feet from the required 13 feet due to the 30-foot private access easement on the west side of the property.
2. The proposed townhomes would have a max height of 36 feet and 10-inches at the tallest point of the ridgeline for each structure and an average height of 31 feet and 9-inches for the pitched roof lines.
3. The redevelopment of the subject site includes a total of 13 parking spaces (1 surface stall and 12 garage stalls) and associated utility improvements, such as water service, sanitary sewer, and gas connections. Associated drainage improvements include a 112 LF bioswale along SE Petrovitsky Rd.
4. The subject property is located at 12228 SE Petrovitsky Rd.
5. The 19,889 square foot (0.46 acres) property is located within the Residential Multifamily (RM) Comprehensive Plan land use designation, the Residential Multi-Family (RM-F) zoning classification, and Design District 'B'.
6. The site previously contained a single family residence which was demolished in 2008.
7. The applicant is proposing to maintain vehicular access to the site from SE Petrovitsky Rd via a single driveway from an existing access and utility easement with Stonebrook Apartments to the west.
8. The site is bordered to the south by SE Petrovitsky Rd, to the west and north by Stonebrook Apartments, and to the east by a vacant residential multi-family property (*Exhibit 14*).
9. The massing of the proposed structures are most prominently visible from SE Petrovitsky Rd.
10. Both proposed structures have varied roof elements including gable roofs, extended eaves, and two foot (2') height variations from unit-to-unit along the ridgeline.
11. Building materials include: lap wood siding, stucco and metal railings (*Exhibit 3*).
12. Both buildings have their primary entrance proposed along the southern façade with an orientation toward SE Petrovitsky Rd. An additional vehicular access is provided along the north facing façade of Building #1.
13. The site is fairly level and slopes north to south with an approximate 3 to 4 foot high rockery along the north property line and another of similar height on the south property line. The project would not impact steep slopes or result in extensive grading.
14. The site contains five (5) significant trees onsite of which all are proposed for removal.

15. The Planning Division of the City of Renton accepted the above master application for review on September 25, 2014 and determined it complete on October 1, 2014. The project complies with the 120-day review period.
16. No public comments were received.
17. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments have been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
18. The proposal requires Site Plan Review. The following table contains project elements intended to comply with Site Plan Review decision criteria, as outlined in RMC 4-9-200E:

<b>SITE PLAN REVIEW CRITERIA:</b>	
<b>a. COMPREHENSIVE PLAN COMPLIANCE AND CONSISTENCY:</b>	
The site is designated Residential Multifamily (RM) on the Comprehensive Plan Land Use Map. The purpose of RM is to encourage a range of multi-family living environments that provide shelter for a wide variety of people in differing living situations, from all income levels, and in all stages of life. <b>The proposal is compliant with the following Comprehensive Plan policies as long as all conditions of approval are complied with:</b>	
✓	<b>Objective LU-MM:</b> Encourage the development of infill parcels with quality projects in existing multi-family districts.
✓	<b>Policy LU-173.</b> Residential Multi-family designations should be in areas of the City where projects would be compatible with existing uses and where infrastructure is adequate to handle impacts from higher density uses.
✓	<b>Policy LU-174.</b> Land within the Residential Multi-family designation areas should be used to meet multi-family housing needs. Residential Multi-family designations have the highest priority for development or redevelopment with multi-family uses.
✓	<b>Policy LU-175:</b> Expansion of the Residential Multi-family designation is limited to properties meeting the following criteria: 1) Properties under consideration should take access from a principal arterial, minor arterial, or collector. Direct access should not be through a less intense land use designation area; 2) Properties under consideration must abut an existing Residential Multi-family land use designation on at least two (2) sides and be on the same side of the principal arterial, minor arterial, or collector serving it; and 3) Any such expansion of the Residential Multi-family land use designation should not bisect or truncate another contiguous land use district.
✓	<b>Policy LU-179.</b> Residential Multi-Family (RMF) projects should include landscaped open space common areas for residents, and other amenities compatible with existing buildings on adjacent and abutting lots.
✓	<b>Policy CD-20:</b> Orient site and building design primarily toward pedestrians through master planning, building location, and design guidelines.
✓	<b>Policy CD-21:</b> In areas developed with high intensity uses, circulation within the site should be primarily pedestrian-oriented. Internal site circulation of vehicles should be separated from pedestrians wherever feasible by dedicated walkways.
✓	<b>Policy CD-23:</b> Development should have buildings oriented toward the street or a common area rather than toward parking lots.

**b. ZONING COMPLIANCE AND CONSISTENCY:**

The subject site is classified **Residential Multi-Family (RM-F)** on the City of Renton Zoning Map. The RM Zone provides suitable environments for multi-family dwellings. It is further intended to conditionally allow uses that are compatible with and support a multi-family environment. The following development standards are applicable to the proposal:

***Density:** Per RMC 4-2-110A the allowed density range in the RM-F zoning classification is a minimum of 10 dwelling units per net acre (du/ac) up to a maximum of 20 du/ac. Net density is calculated after public rights-of-way, private access easements, and critical areas are deducted from the gross acreage of the site.*

After deducting 1,567 square feet for public street dedication and 1,508 square feet for private access easements from the 19,889 gross square footage of the site, the net square footage would be 16,814 square feet (0.386 net acres). The nine (9) unit proposal would arrive at a net density of 23.3 dwelling units per acre (9 units / 0.386 acres = 23.3 du/ac), which exceeds the permitted density range for the RM-F zoning designation without bonus density. Based on the net area of the lot, the maximum net density of the site is 7 du/ac (7 units / 0.386 acres = 18.1 du/ac) and both 8 du/ac (8 units / 0.386 acres = 20.7 du/ac) and 9 du/ac (9 units / 0.386 acres = 23.3 du/ac) exceed the maximum density of the zone.

Renton Municipal Code (RMC) allows density bonuses per RMC 4-9-065 using the density bonus review process concurrent with the site plan review land use permit. The maximum additional units per acre within the RM-F zone are up to five (5) dwelling units per net acre. Densities greater than 25 dwelling units per net acre are prohibited. Thus the maximum density allowed under the bonus review criteria would be up to 9 du/ac.

In order to qualify for the density bonus, the applicant shall first provide one (1) affordable housing unit, either for sale or rental (per net acre). Additional bonus units (per net acre) may be achieved on a 1:1 ratio for either: (i) affordable housing units, either for sale or rental, or (ii) units built to Built Green 3 Star (at minimum) building standards. Affordable housing is defined as "Housing used as a primary residence for any household whose income is less than eighty percent (80%) of the median annual income adjusted for household size, as determined by the Department of Housing and Urban Development (HUD) for the Seattle Metropolitan Statistical Area, and who pay no more than thirty percent (30%) of household income for housing expenses." Affordable housing used to satisfy zoning requirements, whether for inclusionary or bonus provisions, must be secured to remain affordable in perpetuity, as determined by the City Attorney" (RMC 4-11-010 Definitions A).

The applicant is proposing the first unit (Unit 2E) as an affordable housing unit. In order to achieve the maximum density allowed on the subject property (9 du/ac), the applicant must provide either two (2) affordable housing units or one affordable housing unit and one Built Green 3 Star building. Following the initial application where one unit was identified to be provided, communication with the applicant about the above requirements resulted in the applicant electing to provide two (2) affordable housing units and contends that the proposed new buildings will enhance the neighborhood and create a more vibrant residential community. The design and elevations will provide a value-added component to the street-side pedestrian experience and will be an attractive development addition to the vicinity. Pedestrian friendly pathways allow occupants of both buildings to get to the street sidewalk easily, with landscaping dispersed along the way and throughout the development. The applicant states that the project has frontage landscaping, front door orientation and roof modulation all in concert with the standards outlined in the Urban Design Regulations – B Checklist.

As a condition of approval the applicant must show that two units are secured to remain affordable housing as part of the granting of the density bonus and remain affordable in perpetuity, as determined by the City Attorney.

**Lot Dimensions:** Per RMC 4-2-110A the lot dimensions, in the RM-F zone, is n/a.

Not applicable.

**Setbacks:** Defined as the minimum required distance between the building footprint and the property line and any private access easement or tract. For lots containing private access easements, setbacks are the minimum required distance between the building footprint and the easement. Per RMC 4-2-110A the RM-F zoning classification requires a minimum front yard setback of 20 feet, a minimum side yard setback of 12 feet (plus additional 1 ft. for each 10 ft. of height in excess of 30 ft. to a maximum cumulative setback of 20 ft), and a minimum rear yard setback of 15 feet. The following table contains setbacks for the proposed structures:

Building	Front Yard Setback	East Side Yard Setback	West Side Yard Setback	Rear Yard Setback
Building #1	20'	13'	2'	62'
Building #2	70'	13'	8'	12'

The proposed buildings are not compliant with the west side yard setback and building #2 is not compliant with the minimum 15-foot rear yard setback of the zone. There is an existing 30-foot access easement on the west part of the property significantly reducing the building envelope of the site (Exhibit 2). Per the setback definition, setbacks are measured from any private access easement and thus the easement would preclude compliance with the west side yard setback to each structure. In addition to the property line setbacks, the applicant is also required to locate the buildings far enough back to accommodate the existing easement.

The applicant is requesting a variance from setback development standards including a rear yard setback variance of three feet (3') from the required rear yard setback of 15 feet and additionally a variance is required from the west side yard setback for both buildings. Setbacks are defined as the minimum required distance between the building footprint and the property line and any private access easement or tract. Building #1 would include a side yard setback variance of five feet (5') and Building #2 would include a side yard setback variance of 11 feet from the required 13 feet due to the 30-foot private access easement on the west side of the property. There is no parking proposed in-between the public street and the proposed structures. The applicant is proposing pedestrian pathways from the street to the primary entrances. The private access easement could be modified between the applicant the adjacent property owner to conform to the built-out environment, thus only covering the minimum required access required for both properties. Without a revision of the private access easement, the west side yard setbacks would also require a variance from the code. Staff will consider all nonconforming setbacks as part of the applicant's variance request. If the setback variance is approved the project would comply with all setbacks of the zone.

**Building Height:** Per RMC 4-2-110A building height is restricted to 35 feet. In the 'F' District, an additional ten feet (10') height for a residential dwelling structure may be obtained through the provision of additional amenities such as pitched roofs, additional recreation facilities, underground parking, and additional landscaped open space areas; as determined through the site development plan review process and depending on the compatibility of the proposed buildings with adjacent or abutting existing residential development. In no case shall the height of a residential structure exceed forty five feet (45').

Building height is defined as the vertical distance from grade plane to the average height of the highest roof surface. The height of the proposed structures would be 31 feet and 9-inches in height of the 6:12 pitched roof, which complies with the height requirements of the zone (Exhibits 3 & 4).

**Building Standards:** Per RMC 4-2-110A the allowed lot coverage is 35 percent (35%) for proposals within the RM-F classification. The maximum impervious area allowed in the RM-F zoning designation is 75 percent (75%).

The proposed buildings have a combined area of 6,263 square feet, resulting in a building coverage of

31.5%. The proposed impervious area of the site would be 9,854 square feet, on the 19,889 square foot project site, resulting in an impervious cover of 49.5%. The proposal complies with the building coverage and impervious cover requirements of the zone.

**Landscaping:** *Per RMC 4-4-070 ten feet of on-site landscaping is required along all public street frontages, with the exception of areas for required walkways and driveways or those projects with reduced setbacks.*

The applicant is proposing 12 feet of landscaping along SE Petrovitsky Rd at the property line. Between the property line and existing sidewalk is approximately 15 feet of additional landscaping. A conceptual landscape plan was submitted with the project application (*Exhibit 5*).

The site contains five (5) significant trees (trees over 6" in diameter) none of which are proposed to be retained. Renton Municipal Code (RMC) requires that 10 percent of the significant trees onsite be retained. Because the applicant is not proposing to retain any of the existing trees, RMC requires a 6:1 tree replacement value ratio. The applicant is proposing three (3) replacement trees that are 2 inches (2") in caliper. As proposed, the applicant would comply with the tree retention/replacement requirements of the code.

The RM-F zone requires ten feet (10') of onsite landscaping along the public street frontage, except where reduced through the site plan development review process. The landscaping requirements apply to the subject site's SE Petrovitsky Rd frontage. The applicant is proposing a 112 LF bioswale, that measures 12 foot wide along SE Petrovitsky Rd at the property line, with landscaping as part of the site plan application. The landscape plan includes a planting plan; the proposed tree species within the bioswale consists of Golden Leyland Cypress and Oregon Blue Lawsons Cypress trees and the shrubs are Mexican Orange, Gulf Stream Heavenly Bamboo, Forest Flame Pieris, and Portugal Laurel.

All shrubs shall be at least 12 inches tall at planting and have a mature height between three and four feet. Shrubs must also be at least a 2 gallon container size at planting. Based on the provided landscape plan the shrubs were proposed to be between 1 and 5 gallon in size. Staff recommends as a condition of approval that the applicant use at least two gallon (2-GAL) container shrubs that are at least 12 inches (12") tall at planting. The revised landscaping plant schedule shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval.

Between the property line and existing sidewalk there is approximately 15 feet of additional lawn, as shown in the landscaping plan. Additional landscaping would improve the aesthetic quality of the development and soften the appearance of the building along the streetscape. RMC 4-4-070 requires street trees and landscaping within the right-of-way. Spacing standards shall be as stipulated by the Department of Community and Economic Development. Therefore, staff recommends the applicant be required to revise the site and conceptual landscaping plan to provide two (2) trees, of small-maturing species, between the bio-swale and rockery in the public right-of-way. The revised site and landscaping plan shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval. During the construction of the bio-swale, if it is determined that a fence is required around the perimeter of the bio-swale, the fence shall be constructed of a black rod iron fence (or equivalent) and not of chain link, plastic, or wire fencing. All fencing material will be reviewed at the time of construction permit for consistency with the overlay district requirements.

The landscaping plan also includes Green Arrow Alaskan Cedar and "Glen's Form" Evergreen Pear trees. The shrubs and groundcover would also include White Rock Rose, Emerald Green Arborvitae, Massachusetts's Kinnickinnick, Diamond Grass, and Red Wind Ornamental Grass. The landscape plan would provide visual relief, define areas of pedestrian circulation, and adds to the aesthetic enjoyment of the area. Underground sprinkler systems are required to be installed and maintained for all landscaped areas and the proposed sprinkler system shall provide full water coverage of the planted areas specified on the plan.

**Refuse and Recyclables:** Per RMC 4-4-090 for multi-family development a minimum of one and one-half (1-1/2) square feet per dwelling unit in multi-family residences shall be provided for recyclables deposit areas and a minimum of (3) square feet per dwelling unit shall be provided for refuse deposit areas. A total minimum area of eighty (80) square feet shall be provided for refuse and recyclables deposit areas.

Based on the proposed 9 units, the minimum 80 square feet of refuse deposit areas would be required. The applicant has proposed a 117 square foot area to be dedicated to refuse and recyclables. As proposed, the refuse and recyclable area satisfies the minimum size requirements.

The applicant is proposing a refuse and recycle station that would be constructed of six foot (6') high CMU walls and a seven foot (7') wide gate. The minimum gate opening for outdoor refuse and recycle stations is twelve feet (12') wide for haulers per RMC 4-4-090C.9. The applicant has minimized the negative impact to the street and tenants by locating the refuse and recycle station away from the drive isle to the units. The location is easily accessible and provides adequate screening from the public. The applicant will be required to comply with minimum gate opening for outdoor refuse and recycle station of 12' or request a modification to the Refuse and Recycling standards identified in RMC 4-4-090F.

In addition to standard enclosure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, including the roof and screened around their perimeter by a wall or fence and have self-closing doors due to site being located within the Urban Design District 'B' Overlay District. The proposed trash enclosure does not have a roof as part of the required enclosure standard of the overlay district. Staff recommends as a condition of approval that the applicant add a roof to the trash enclosure. The revised refuse and recycle station plan shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval.

**Critical Areas:** There are no critical areas located on the site.

**Parking:** The parking regulations, RMC 4-4-080, require a specific number of off-street parking stalls to be provided based on the number of residential units. The following ratios would be applicable to the site:

Use	Number of Units	Ratio	Required Spaces
Attached dwellings in RM-F zone	5	Min and Max: 1.4 spaces / 2 bedroom unit;	Min: 7 Max: 7
Attached dwellings in RM-F zone	2	Min and Max: 1.6 spaces / 3 bedroom or large unit;	Min: 3.2 Max: 3.2
Attached dwelling for low income	2	Min: 1.0 per spaces / unit	Min: 2 Max: 2

Based on these use requirements, a maximum of 13 parking spaces would be allowed. The applicant is proposing to provide a total of 13 parking spaces (1 surface stall and 12 garage stalls), which is within the allowable range. The parking conforms to the minimum requirements for drive aisle and parking stall dimensions. Accessible parking shall be provided per the requirements of the Washington State Barrier Free Standards as adopted by the City of Renton.

Based on the proposal for nine (9) residential units, five (5) bicycle parking stalls are required to be provided. Each of the nine (9) proposed garage units would allow for sufficient onsite bicycle parking, complying with the standards outline in RMC 4-4-080F.11.

**Sidewalks, Pathways, and Pedestrian Easements:** Pedestrian sidewalks, as well as private pedestrian connections, throughout the property, are proposed for safe and efficient pedestrian access throughout the site. Pedestrian connections are provided from the SE Petrovitsky Rd to each structure. The applicant has included in the site plan a primary pathway, 4 feet in width, to be used to connect the public sidewalk and parking lot to the two buildings (*Exhibit 2*). Connections have also been provided between the two new proposed structures. The site also shares an access easement with Stonebrook Apartments.

**c. DESIGN REGULATION COMPLIANCE AND CONSISTENCY:** *The site is located within Design District 'B'. To ensure that buildings are located in relation to streets and other buildings so that the Vision of the City of Renton can be realized for a high-density urban environment; so that businesses enjoy visibility from public rights-of-way; and to encourage pedestrian activity throughout the district. As demonstrated in the table below the proposal meets the intent of the Design Regulations on the basis of individual merit if all conditions of approval are met. Each standard is evaluated and shown with a check mark if compliant with the standard, "N/A" for not applicable to the proposal, and "Not compliant" where the standard is not met. Staff comments are provided following explanation of the standard being evaluated.*

**1. Site Design and Street Pattern:**

**Intent:** *To ensure that the City of Renton Vision can be realized within the Urban Center Districts; plan districts that are organized for efficiency while maintaining flexibility for future development at high urban densities and intensities of use; create and maintain a safe, convenient network of streets of varying dimensions for vehicle circulation; and provide service to businesses.*

✓

**Standard:** Maintain existing grid street pattern.

**2. Building Location and Orientation:**

**Intent:** *To ensure visibility of businesses and to establish active, lively uses along sidewalks and pedestrian pathways. To organize buildings for pedestrian use and so that natural light is available to other structures and open space. To ensure an appropriate transition between buildings, parking areas, and other land uses; and increase privacy for residential uses.*

**Guidelines:** *Developments shall enhance the mutual relationship of buildings with each other, as well as with the roads, open space, and pedestrian amenities while working to create a pedestrian oriented environment. Lots shall be configured to encourage variety and so that natural light is available to buildings and open space. The privacy of individuals in residential uses shall be provided for.*

✓

**Standard:** *The availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas) shall be considered when siting structures.*

✓

**Standard:** *Buildings shall be oriented to the street with clear connections to the sidewalk.*

**Not compliant**

**Standard:** *The front entry of a building shall be oriented to the street or a landscaped pedestrian-only courtyard.*

**Staff Comment:** *The proposed Building #1, closest to the public right-of-way, establishes a potential active use along sidewalks and pedestrian pathways, provides a street presence, allows for natural light and solar access along the principal arterial street, enhances the visual character of the district. The front entries have clear connections to the public sidewalk along the arterial SE Petrovitsky St where the sidewalk connects to a larger network of pedestrian connections within the area.*

*The front entry, or south elevation of Building #2, is oriented to a two-way drive aisle. The applicant is proposing a pedestrian sidewalk to the north elevation or back of the building. No entrance or exit doors are proposed on the north elevation of Units 2A-2E of Building #2. Staff recommends as a condition of approval that the applicant relocate the pedestrian connection sidewalk, currently proposed on the north side of the Building #2, to the south side of the Building #2 for Units 2A-2E. The sidewalk shall measure a minimum of 48" in width. The concrete sidewalk shall be flush with the driveway aisle to allow vehicular access to the garages, accessible pedestrian movements from the public sidewalk to the front entry doors, and provide sufficient two-way travel lanes for vehicles between the two buildings.*

✓	<p><b>Standard:</b> Buildings with residential uses located at the street level shall be:</p> <p>a. Set back from the sidewalk a minimum of ten feet (10') and feature substantial landscaping between the sidewalk and the building (illustration below); or</p> <p>b. Have the ground floor residential uses raised above street level for residents' privacy.</p>
<p><b>3. Building Entries:</b></p> <p><b>Intent:</b> To make building entrances convenient to locate and easy to access, and ensure that building entries further the pedestrian nature of the fronting sidewalk and the urban character of the district.</p> <p><b>Guideline:</b> Primary entries shall face the street, serve as a focal point, and allow space for social interaction. All entries shall include features that make them easily identifiable while reflecting the architectural character of the building. The primary entry shall be the most visually prominent entry. Pedestrian access to the building from the sidewalk, parking lots, and/or other areas shall be provided and shall enhance the overall quality of the pedestrian experience on the site.</p>	
✓	<p><b>Standard:</b> The primary entrance of each building shall be located on the façade facing a street, shall be prominent, visible from the street, connected by a walkway to the public sidewalk, and include human-scale elements.</p> <p><b>Staff Comment:</b> Primary entrances for each unit of Building #1, with its façade facing south towards SE Petrovitsky Rd, is prominent and visible from the street. All building entries are connected by a walkway to the public sidewalk on SE Petrovitsky Rd and each contains human-scale elements such as canopies over the front entrances.</p>
✓	<p><b>Standard:</b> The primary entrance of each building shall be made visibly prominent by incorporating architectural features such as a facade overhang, trellis, large entry doors, and/or ornamental lighting.</p>
<b>Compliant with Guideline</b>	<p><b>Standard:</b> Building entries from a street shall be clearly marked with canopies, architectural elements, ornamental lighting, or landscaping and include weather protection at least four and one-half feet (4-1/2') wide (illustration below). Buildings that are taller than thirty feet (30') in height shall also ensure that the weather protection is proportional to the distance above ground level.</p> <p><b>Staff Comment:</b> The proposed building fronting the public street (Building #1) has weather protection over 4-1/2 feet wide over the entrances and limited weather protection over the garage entrances. The building located towards the rear of the lot (Building #2) has limited weather protection, through horizontal modulation between the first and second stories, above the front entry along the drive aisle. No other weather protection is provided on Building #2. Any new entrances will also be required to provide weather protection at least 4-1/2 feet wide over all pedestrian entrances.</p>
✓	<p><b>Standards:</b> Building entries from a parking lot shall be subordinate to those related to the street.</p>
N/A	<p><b>Standard:</b> Features such as entries, lobbies, and display windows shall be oriented to a street or pedestrian-oriented space; otherwise, screening or decorative features should be incorporated.</p>
✓	<p><b>Standard:</b> Multiple buildings on the same site shall direct views to building entries by providing a continuous network of pedestrian paths and open spaces that incorporate landscaping.</p> <p><b>Staff Comment:</b> The buildings have a continuous network of pedestrian paths and open spaces to building entries. A clearly designated pedestrian path along the front of Building #2 would provide for additional safety between vehicular and pedestrian traffic. Additional pedestrian pathways, along the open space located to the east of the</p>

	<p>buildings, would provide better pedestrian connections to and from the garages and front doors of the easternmost units.</p>
<p>✓</p>	<p><b>Standard:</b> Ground floor residential units that are directly accessible from the street shall include:</p> <ul style="list-style-type: none"> <li>a. Entries from front yards to provide transition space from the street; or</li> <li>b. Entries from an open space such as a courtyard or garden that is accessible from the street.</li> </ul>
<p><b>4. Transition to Surrounding Development:</b></p> <p><b>Intent:</b> To shape redevelopment projects so that the character and value of Renton’s long-established, existing neighborhoods are preserved.</p> <p><b>Guidelines:</b> Careful siting and design treatment shall be used to achieve a compatible transition where new buildings differ from surrounding development in terms of building height, bulk and scale.</p>	
<p>✓</p>	<p><b>Standard:</b> At least one of the following design elements shall be used to promote a transition to surrounding uses:</p> <ul style="list-style-type: none"> <li>1. Building proportions, including step-backs on upper levels in accordance with the surrounding planned and existing land use forms; or</li> <li>2. Building articulation to divide a larger architectural element into smaller increments; or</li> <li>3. Roof lines, roof pitches, and roof shapes designed to reduce apparent bulk and transition with existing development.</li> </ul> <p>Additionally, the Administrator may require increased setbacks at the side or rear of a building in order to reduce the bulk and scale of larger buildings and/or so that sunlight reaches adjacent and/or abutting yards.</p> <p><b>Staff Comment:</b> A variety of building articulations and roof lines are proposed as part of each structure. The three story townhome design matches the 3-story height of the existing Stonebrook Apartments (Exhibit 14). The fluctuation in roof lines serves to reduce apparent bulk and transitions well with existing development. Roof eaves may encroach up to two feet into the required setback or two feet beyond the permitted setback allowed through the variance process.</p>
<p><b>5. Service Element Location and Design:</b></p> <p><b>Intent:</b> To reduce the potential negative impacts of service elements (i.e., waste receptacles, loading docks) by locating service and loading areas away from high-volume pedestrian areas, and screening them from view in high visibility areas.</p> <p><b>Guidelines:</b> Service elements shall be concentrated and located so that impacts to pedestrians and other abutting uses are minimized. The impacts of service elements shall be mitigated with landscaping and an enclosure with fencing that is made of quality materials.</p>	
<p><b>Not compliant</b></p>	<p><b>Standard:</b> Service elements shall be located and designed to minimize the impacts on the pedestrian environment and adjacent uses. Service elements shall be concentrated and located where they are accessible to service vehicles and convenient for tenant use.</p> <p><b>Staff Comment:</b> The locations of each heat pump with the corresponding 6” pads are located where they are accessible and convenient for tenant use near the buildings. The landscaping shows trees and shrubs in the exact or near exact locations of the heat pumps. Staff recommends as a condition of approval that the applicant provide landscaping and screening that serves to minimize the visual and acoustic impacts created by the heat pumps. Additionally the applicant shall revise the landscaping plan</p>

<p style="text-align: center;"><b>Not compliant</b></p>	<p>such that the plantings are not in direct conflict with the heat pumps.</p> <p><b>Standard:</b> <i>In addition to standard enclosure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, including the roof and screened around their perimeter by a wall or fence and have self-closing doors.</i></p> <p><b>Staff Comment:</b> The location of the refuse and recyclables would be located within a 6-foot tall CMU split face wall enclosure on the northwest portion of the site. The location is screened using arborvitae along the north and west sides facing the high visibility areas. The location is easily accessible and provides basic screening from the public. The gate is turned slightly to face towards the southeast, or towards the development, in order to minimize visibility to the existing apartments. The minimum gate opening for outdoor refuse and recycle stations is twelve feet (12') wide for haulers per RMC 4-4-090C.9. The applicant has minimized the negative impact to the street and tenants by locating the refuse and recycle station away from the drive isle serving the units. Staff recommends as a condition of approval that the applicant comply with minimum gate opening for outdoor refuse and recycle station by providing a gate opening of at least 12 feet (12') or request a modification to the Refuse and Recycling standards identified in RMC 4-4-090F. The trash enclosure does not have a roof as part of the required enclosure standard. Staff recommends as a condition of approval that the applicant add a roof to the trash enclosure.</p>
<p style="text-align: center;"><b>Unknown</b></p>	<p><b>Standard:</b> <i>Service enclosures shall be made of masonry, ornamental metal or wood, or some combination of the three (3).</i></p> <p><b>Staff Comment:</b> If the bio-swale requires safety protection fencing, the applicant shall construct a black rod iron fence (or equivalent) around the perimeter of the bioswale. A revised landscape or fence detail plan shall be submitted to and approved by the Current Planning Project Manager prior to or concurrent with the building permit approval.</p>
<p style="text-align: center;"><b>Not compliant</b></p>	<p><b>Standard:</b> <i>If the service area is adjacent to a street, pathway, or pedestrian-oriented space, a landscaped planting strip, minimum three feet (3') wide, shall be located on three (3) sides of such facility.</i></p> <p><b>Staff Comment:</b> The applicant is proposing 7 feet (7') of landscaping on the west elevation and 23' of landscaping on the north elevation of the refuse and recycle station. Staff recommends as a condition of approval that the applicant add a 3-foot wide planter island with landscaping along the east facing elevation of the refuse and recycle station.</p>

**B. PARKING AND VEHICULAR ACCESS:**

**Intent:** *To provide safe, convenient access to the Urban Center and the Center Village; incorporate various modes of transportation, including public mass transit, in order to reduce traffic volumes and other impacts from vehicles; ensure sufficient parking is provided, while encouraging creativity in reducing the impacts of parking areas; allow an active pedestrian environment by maintaining contiguous street frontages, without parking lot siting along sidewalks and building facades; minimize the visual impact of parking lots; and use access streets and parking to maintain an urban edge to the district.*

**1. Surface Parking:**

**Intent:** *To maintain active pedestrian environments along streets by placing parking lots primarily in back of buildings.*

**Guideline:** *Surface parking shall be located and designed so as to reduce the visual impact of the parking area and associated vehicles. Large areas of surface parking shall also be designed to accommodate future infill development.*

✓	<p><b>Standard:</b> Parking shall be located so that no surface parking is located between a building and the front property line or the building and side property line (when on a corner lot).</p>
✓	<p><b>Standard:</b> Parking shall be located so that it is screened from surrounding streets by buildings, landscaping, and/or gateway features as dictated by location.</p> <p><b>Staff Comment:</b> Parking is either screened from surrounding streets via landscaping, the trash enclosure, a retaining wall, or by the buildings.</p>
<p><b>2. Vehicular Access:</b></p> <p><b>Intent:</b> To maintain a contiguous and uninterrupted sidewalk by minimizing, consolidating, and/or eliminating vehicular access off streets.</p> <p><b>Guidelines:</b> Vehicular access to parking garages and parking lots shall not impede or interrupt pedestrian mobility. The impacts of curb cuts to pedestrian access on sidewalks shall be minimized.</p>	
✓	<p><b>Standard:</b> Access to parking lots and garages shall be from alleys, when available. If not available, access shall occur at side streets.</p> <p><b>Staff Comment:</b> Access to the individual garages of the townhomes is through a 24'-1" to 25'-6" wide drive aisle between the two buildings.</p>
✓	<p><b>Standard:</b> The number of driveways and curb cuts shall be minimized, so that pedestrian circulation along the sidewalk is minimally impeded.</p> <p><b>Staff Comment:</b> The applicant will utilize a shared driveway access with the neighboring parcel.</p>
<p><b>C. PEDESTRIAN ENVIRONMENT:</b></p> <p><b>Intent:</b> To enhance the urban character of development in the Urban Center and the Center Village by creating pedestrian networks and by providing strong links from streets and drives to building entrances; make the pedestrian environment safer and more convenient, comfortable, and pleasant to walk between businesses, on sidewalks, to and from access points, and through parking lots; and promote the use of multi-modal and public transportation systems in order to reduce other vehicular traffic.</p>	
<p><b>1. Pedestrian Circulation:</b></p> <p><b>Intent:</b> To create a network of linkages for pedestrians, that is safe and convenient, enhances the pedestrian environment, and provides a way for pedestrians to walk from one location to another without having to drive their vehicle.</p> <p><b>Guidelines:</b> The pedestrian environment shall be given priority and importance in the design of projects. Sidewalks and/or pathways shall be provided and shall provide safe access to buildings from parking areas. Providing pedestrian connections to abutting properties is an important aspect of connectivity and encourages pedestrian activity and shall be considered. Pathways shall be easily identifiable to pedestrians and drivers.</p>	
<p><b>2. Pedestrian Amenities:</b></p> <p><b>Intent:</b> To create attractive spaces that unify the building and street environments and are inviting and comfortable for pedestrians; and provide publicly accessible areas that function for a variety of activities, at all times of the year, and under typical seasonal weather conditions.</p> <p><b>Guidelines:</b> The pedestrian environment shall be given priority and importance in the design of projects. Amenities that encourage pedestrian use and enhance the pedestrian experience shall be included.</p>	
✓	<p><b>Standard:</b> Architectural elements that incorporate plants, particularly at building entrances, in publicly accessible spaces and at facades along streets, shall be provided.</p>
✓	<p><b>Standard:</b> Amenities such as outdoor group seating, benches, transit shelters, fountains,</p>

	<p>and public art shall be provided.</p> <p>a. Site furniture shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.</p> <p>b. Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.</p> <p><u>Staff Comment:</u> Common open space is not required within District B and the project only consists of nine (9) residential townhomes; therefore, none of the aforementioned amenities will be required as part of the project.</p>
<p><b>D. LANDSCAPING/RECREATION AREAS/COMMON OPEN SPACE:</b></p> <p><i>Intent:</i> To provide visual relief in areas of expansive paving or structures; define logical areas of pedestrian and vehicular circulation; and add to the aesthetic enjoyment of the area by the community. To have areas suitable for both passive and active recreation by residents, workers, and visitors; provide these areas in sufficient amounts and in safe and convenient locations; and provide the opportunity for community gathering in places centrally located and designed to encourage such activity.</p>	
<p><b>1. Landscaping:</b></p> <p><i>Intent:</i> Landscaping is intended to reinforce the architecture or concept of the area; provide visual and climatic relief in areas of expansive paving or structures; channelize and define logical areas of pedestrian and vehicular circulation; and add to the aesthetic enjoyment of the area by the community.</p> <p><i>Guidelines:</i> Landscaping should be used to soften and integrate the bulk of buildings. Landscaping should be provided that appropriately provides either screening of unwanted views or focuses attention to preferred views. Use of low maintenance, drought-resistant landscape material is encouraged. Choice of materials should reflect the level of maintenance that will be available. Seasonal landscaping and container plantings are encouraged, particularly at building entries and in publicly accessible spaces. Window boxes, containers for plantings, hanging baskets, or other planting feature elements should be made of weather-resistant materials that can be reasonably maintained. Landscaping should be used to screen parking lots from adjacent or neighboring properties. Front yards should be visible from the street and visually contribute to the streetscape. Decorative walls and fencing are encouraged when architecturally integrated into the project.</p>	
✓	<p><b>Standard:</b> All pervious areas shall be landscaped.</p>
<b>Not compliant</b>	<p><b>Standard:</b> Street trees are required and shall be located between the curb edge and building, as determined by the City of Renton.</p> <p><u>Staff Comment:</u> The applicant has proposed lawn between the bio-swale and the existing rockery in the public right-of-way. Additional landscaping has been proposed within the bio-swale and near the tenant entrances along the building. Staff recommends as a condition of approval that the applicant plant two (2) trees, of small-maturing species, between the bio-swale and rockery in the public right-of-way.</p>
<b>N/A</b>	<p><b>Standard:</b> On designated pedestrian-oriented streets, street trees shall be installed with tree grates. For all other streets, street tree treatment shall be as determined by the City of Renton.</p>
✓	<p><b>Standard:</b> The proposed landscaping shall be consistent with the design intent and program of the building, the site, and use.</p>
✓	<p><b>Standard:</b> The landscape plan shall demonstrate how the proposed landscaping, through the use of plant material and nonvegetative elements, reinforces the architecture or concept of the development.</p>

<p><b>Not compliant</b></p>	<p><b>Standard:</b> Surface parking areas shall be screened by landscaping in order to reduce views of parked cars from streets (see RMC 4-4-080F7, Landscape Requirements). Such landscaping shall be at least 10 feet in width as measured from the sidewalk.</p> <p><b>Staff Comment:</b> Onsite parking is either screened from the surrounding access road via a seven foot (7') wide landscaping strip followed by an eight foot (8') wide trash enclosure. Staff recommends as a condition of approval that the applicant add three (3) feet of additional landscaping on the west side of the proposed surface parking stall.</p>								
<p><b>Not compliant</b></p>	<p><b>Standard:</b> Trees at an average minimum rate of one tree per 30 lineal feet of street frontage. Permitted tree species are those that reach a mature height of at least 35 feet. Minimum height or caliper at planting shall be eight feet or two inch caliper (as measured four feet from the top of the root ball) respectively.</p> <p><b>Staff Comment:</b> The applicant has proposed lawn between the bio-swale and rockery in the public right-of-way. Staff recommends as a condition of approval that the applicant plant a minimum of two (2) trees, based on size and spacing, between the bio-swale and rockery in the public right-of-way. Standard planting should include trees that are at least a minimum of two inches (2") in diameter at breast height for multi-family uses.</p>								
<p>✓</p>	<p><b>Standard:</b> Shrubs at the minimum rate of one per 20 square feet of landscaped area. Shrubs shall be at least 12 inches tall at planting and have a mature height between three and four feet.</p>								
<p>✓</p>	<p><b>Standard:</b> Ground cover shall be planted in sufficient quantities to provide at least 90 percent coverage of the landscaped area within three years of installation.</p>								
<p>✓</p>	<p><b>Standard:</b> The applicant shall provide a maintenance assurance device, prior to occupancy, for a period of not less than three years and in sufficient amount to ensure required landscape standards have been met by the third year following installation.</p> <p><b>Staff Comment:</b> Prior to occupancy, the applicant will be required to provide a maintenance assurance device for a period of three years to ensure required landscaping thresholds will be met by the third year.</p>								
<p><b>N/A</b></p>	<p><b>Standard:</b> Surface parking with more than 14 stalls shall be landscaped as follows:</p> <p>(1) Required Amount:</p> <table border="1" data-bbox="418 1360 1458 1539"> <thead> <tr> <th>Total Number of Spaces</th> <th>Minimum Required Landscape Area*</th> </tr> </thead> <tbody> <tr> <td>15 to 50</td> <td>15 square feet/parking space</td> </tr> <tr> <td>51 to 99</td> <td>25 square feet/parking space</td> </tr> <tr> <td>100 or more</td> <td>35 square feet/parking space</td> </tr> </tbody> </table> <p>* Landscape area calculations above and planting requirements below exclude perimeter parking lot landscaping areas.</p> <p>(2) Provide trees, shrubs, and ground cover in the required interior parking lot landscape areas.</p> <p>(3) Plant at least one tree for every six parking spaces. Permitted tree species are those that reach a mature height of at least 35 feet. Minimum height or caliper at planting shall be eight feet or two inch caliper (as measured four feet from the top of the root ball) respectively.</p> <p>(4) Plant shrubs at a rate of five per 100 square feet of landscape area. Shrubs shall be at least 16 inches tall at planting and have a mature height between three and four feet.</p> <p>(5) Up to 50 percent of shrubs may be deciduous.</p> <p>(6) Select and plant ground cover so as to provide 90 percent coverage within three</p>	Total Number of Spaces	Minimum Required Landscape Area*	15 to 50	15 square feet/parking space	51 to 99	25 square feet/parking space	100 or more	35 square feet/parking space
Total Number of Spaces	Minimum Required Landscape Area*								
15 to 50	15 square feet/parking space								
51 to 99	25 square feet/parking space								
100 or more	35 square feet/parking space								

	<p>years of planting; provided, that mulch is applied until plant coverage is complete.                  (7) Do not locate a parking stall more than 50 feet from a landscape area.</p>
✓	<p><b>Standard:</b> Regular maintenance shall be provided to ensure that plant materials are kept healthy and that dead or dying plant materials are replaced.</p>
✓	<p><b>Standard:</b> Underground, automatic irrigation systems are required in all landscape areas.</p>
<p><b>2. Recreation Areas and Common Open Space:</b></p> <p><b>Intent:</b> To ensure that areas for both passive and active recreation are available to residents, workers, and visitors and that these areas are of sufficient size for the intended activity and in convenient locations. To create usable and inviting open space that is accessible to the public; and to promote pedestrian activity on streets particularly at street corners.</p> <p><b>Guidelines:</b> Developments located at street intersections should provide pedestrian-oriented space at the street corner to emphasize pedestrian activity. Recreation and common open space areas are integral aspects of quality development that encourage pedestrians and users. These areas shall be provided in an amount that is adequate to be functional and usable; they shall also be landscaped and located so that they are appealing to users and pedestrians.</p>	
<p><b>Not compliant</b></p>	<p><b>Standard:</b> Attached housing developments shall provide a minimum area of private usable open space equal to 150 square feet per unit of which 100 square feet are contiguous. Such space may include porches, balconies, yards, and decks.</p> <p><b>Staff Comment:</b> Units 1A, 1B, and 1D include third floor balconies at roughly 75 square feet each, covered porches between 32 square feet and 45 square feet, and roughly 500 square feet of community yard on the east elevation of the building. Units 2A, 2B, 2C, 2D, and 2E only have community yard space totaling roughly 500 square feet. Staff recommends as a condition of approval that the applicant provide private usable open space equal to 150 square feet per unit. Staff suggests adding a back door with a porch and fencing in-between each of the units for Building #2. Increased balcony sizes, porches and adding a balcony to Unit 1C should provide the minimum area of private usable open space required per unit.</p>
<p><b>E. BUILDING ARCHITECTURAL DESIGN:</b></p> <p><b>Intent:</b> To encourage building design that is unique and urban in character, comfortable on a human scale, and uses appropriate building materials that are suitable for the Pacific Northwest climate. To discourage franchise retail architecture.</p>	
<p><b>1. Building Character and Massing:</b></p> <p><b>Intent:</b> To ensure that buildings are not bland and so that they appear to be at a human scale, as well as to ensure that all sides of a building which can be seen by the public are visually interesting.</p> <p><b>Guidelines:</b> Building facades shall be modulated and/or articulated to reduce the apparent size of buildings, break up long blank walls, add visual interest, and enhance the character of the neighborhood. Articulation, modulation, and their intervals should create a sense of scale important to residential buildings.</p>	
<p><b>Not compliant</b></p>	<p><b>Standard:</b> All building facades shall include modulation or articulation at intervals of no more than 20 feet.</p> <p><b>Staff Comment:</b> Building #1: The north, west and south elevations are visually interesting with elements of building modulation and articulation. The east elevation has somewhat less modulation and articulation than the rest of the building (<i>Exhibit 3</i>).                  Building #2: The south elevation includes horizontal modulation between the first and</p>

	second floor, different colors and materials to reduce the apparent bulk and scale of the building, distinctive window patterns and rooflines, and articulation of the building top, middle and bottom. The west, north and east elevations have no vertical or horizontal modulation and limited articulation to reduce the apparent size and bulk of the new building located near the apartments to the north. Staff recommends as a condition of approval that the applicant add elements of building modulation and/or additional elements of articulation to the north elevation of Building #2, such that it is similar in scale and design of that found on Building #1 ( <i>Exhibit 3</i> ).
✓	<b>Standard:</b> <i>Modulations shall be a minimum of two feet (2') in depth and four feet (4') in width.</i>
N/A	<b>Standard:</b> <i>Buildings greater than one hundred sixty feet (160') in length shall provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade; or provide an additional special feature such as a clock tower, courtyard, fountain, or public gathering area.</i>
<b>2. Ground-Level Details:</b>	
<b>Intent:</b> <i>To ensure that buildings are visually interesting and reinforce the intended human-scale character of the pedestrian environment; and ensure that all sides of a building within near or distant public view have visual interest.</i>	
<b>Guidelines:</b> <i>The use of material variations such as colors, brick, shingles, stucco, and horizontal wood siding is encouraged. The primary building entrance should be made visibly prominent by incorporating architectural features such as a façade overhang, trellis, large entry doors, and/or ornamental lighting. Detail features should also be used, to include things such as decorative entry paving, street furniture (benches, etc.), and/or public art.</i>	
<b>Not compliant</b>	<b>Standard:</b> <i>Provide human-scaled elements such as a lighting fixture, trellis, or other landscape feature along the façade's ground floor.</i>  <b>Staff Comment:</b> An onsite lighting plan was not provided with the application; therefore staff recommends as a condition of approval the applicant be required to provide a lighting plan prior to construction permit approval. The lighting plan will need to depict the direction of the light and the foot candles, such that the lights would not result in light trespass or have a considerable impact on the apartment complex to the north.
<b>Not compliant</b>	<b>Standard:</b> <i>Any façade visible to the public shall be comprised of at least fifty percent (50%) transparent windows and/or doors for at least the portion of the ground floor facade that is between four feet (4') and eight feet (8') above ground (as measured on the true elevation).</i>  <b>Staff Comment:</b> The current percent of transparent windows and/or doors is roughly around 20%. Staff recommends as a condition of approval that the applicant increase the percentage of transparent windows and/or doors on the north elevation of Building #1 to at least fifty percent between four feet (4') and eight feet (8') above ground elements ( <i>Exhibit 3</i> ).
✓	<b>Standard:</b> <i>Upper portions of building facades shall have clear windows with visibility into and out of the building. However, screening may be applied to provide shade and energy efficiency. The minimum amount of light transmittance for windows shall be fifty percent (50%).</i>
N/A	<b>Standard:</b> <i>Display windows shall be designed for frequent change of merchandise, rather than permanent displays.</i>

<p>N/A</p>	<p><b>Standard:</b> Where windows or storefronts occur, they must principally contain clear glazing.</p>
<p>Not compliant</p>	<p><b>Standard:</b> Untreated blank walls visible from public streets, sidewalks, or interior pedestrian pathways are prohibited. A wall (including building facades and retaining walls) is considered a blank wall if:</p> <p>(a) It is a ground floor wall or portion of a ground floor wall over 6 feet in height, has a horizontal length greater than 15 feet, and does not include a window, door, building modulation or other architectural detailing; or</p> <p>(b) Any portion of a ground floor wall has a surface area of 400 square feet or greater and does not include a window, door, building modulation or other architectural detailing.</p> <p><b>Staff Comment:</b> The entire ground floor façade on the north elevation of Building #2 qualifies as an untreated blank wall with no windows, doors, building modulation or other architectural detailing. Staff recommends as a condition of approval that the applicant add elements of building modulation, articulation and/or additional elements of architectural detailing to the north elevation, ground floor façade, of Building #2 (Exhibit 3).</p>
<p>✓</p>	<p><b>Standard:</b> If blank walls are required or unavoidable, blank walls shall be treated with one or more of the following:</p> <p>(a) A planting bed at least five feet in width containing trees, shrubs, evergreen ground cover, or vines adjacent to the blank wall;</p> <p>(b) Trellis or other vine supports with evergreen climbing vines;</p> <p>(c) Architectural detailing such as reveals, contrasting materials, or other special detailing that meets the intent of this standard;</p> <p>(d) Artwork, such as bas-relief sculpture, mural, or similar; or</p> <p>(e) Seating area with special paving and seasonal planting.</p>
<p><b>3. Building Materials:</b></p> <p><b>Intent:</b> To ensure high standards of quality and effective maintenance over time and encourage the use of materials that reduce the visual bulk of large buildings, as well as to encourage the use of materials that add visual interest to the neighborhood.</p> <p><b>Guidelines:</b> Building materials are an important and integral part of the architectural design of a building that is attractive and of high quality. Material variation shall be used to create visual appeal and eliminate monotony of facades. This shall occur on all facades in a consistent manner. High quality materials shall be used. If materials like concrete or block walls are used they shall be enhanced to create variation and enhance their visual appeal.</p>	
<p>✓</p>	<p><b>Standard:</b> All sides of buildings visible from a street, pathway, parking area, or open space shall be finished on all sides with the same building materials, detailing, and color scheme, or if different, with materials of the same quality.</p>
<p>✓</p>	<p><b>Standard:</b> All buildings shall use material variations such as colors, brick or metal banding, patterns, or textural changes.</p> <p><b>Staff Comment:</b> Building materials include Hardie panels in multicolor, Hardie Board and Batten in light grey, Hardie-Plank Siding in grey/blue, 12" Cedar or Hardie lap siding, metal finished canopies, stucco in light grey and rust brown, and aluminum railing in charcoal black.</p>

✓	<i>Standard: Materials, individually or in combination, shall have texture, pattern, and be detailed on all visible facades.</i>
✓	<i>Standard: Materials shall be durable, high quality, and consistent with more traditional urban development, such as brick, integrally colored concrete masonry, pre-finished metal, stone, steel, glass and cast-in-place concrete.</i>
N/A	<i>Standard: If concrete is used, walls shall be enhanced by techniques such as texturing, reveals, and/or coloring with a concrete coating or admixture.</i>
✓	<i>Standard: If concrete block walls are used, they shall be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or shall incorporate other masonry materials.</i>

**F. PLANNED ACTION ORDINANCE AND DEVELOPMENT AGREEMENT COMPLIANCE AND CONSISTENCY:**

Not applicable.

**G. OFF-SITE IMPACTS:**

**Structures:** Restricting overscale structures and overconcentration of development on a particular portion of the site.

The subject site would contain two structures evenly spaced across the site with parking provided on the first floor of the units or to the west of the north building. Both buildings are set back from the front property line in order to incorporate a bio-swale along the front of the property. There is not a overconcentration of development on the site. The surrounding uses on the north side of SE Petrovitsky Rd are also zoned Residential Multi-Family (RM-F) and are similar in scale.

The proposed residential development is expected to enhance and increase property values in the vicinity of the site. Adding residential population would also improve the customer base for commercial businesses in the area.

**Circulation:** Providing desirable transitions and linkages between uses, streets, walkways and adjacent properties.

Frontage improvements are required to be constructed in the right-of-way fronting the site on SE Petrovitsky Rd. Existing right-of-way width in SE Petrovitsky Rd is 84 feet. In order to meet the City's complete street standards, street improvements including 33 feet of paving from centerline, curb and gutter, 8-foot planter strip, 8-foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site per City code 4-6-060. To build this street section, approximately 9 feet 6 inches (or 9.5 feet) of right-of-way will be required to be dedicated to the City. This will provide for a future right-of-way width of 103 feet. Should the applicant formally apply for a street modification, staff has indicated that that the City would support a modification allowing the existing concrete walk to remain matching the alignment on the entire road, additional street trees may be required to be planted behind the sidewalk and right-of-way dedication will still be required.

Street lighting is also required to be installed along the frontage of SE Petrovitsky Rd if lighting levels do not meet city code. The applicant is required to demonstrate compliance with the street and lighting standards outlined in the Renton Municipal Code at the time of construction permit application.

Pedestrian sidewalks, as well as private pedestrian connections, throughout the property, are proposed for safe and efficient pedestrian access throughout the site. The applicant has included in the site plan a primary pathway, 4 feet in width, to be used to connect the public sidewalk and parking lot to the two buildings (*Exhibit 2*). Staff recommends as a condition of approval that the applicant relocate the concrete pedestrian connection, from the north elevation to the south elevation of Building #2, for Units 2A-2E. The sidewalk shall measure a minimum of 48" in width. The concrete sidewalk shall be flush with the driveway aisle to allow vehicular access to the garages, accessible pedestrian movements from the public sidewalk to the front entry doors, and sufficient two-way travel lanes between the buildings. The

applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised site plan prior to building permit approval.

**Loading and Storage Areas:** *Locating, designing and screening storage areas, utilities, rooftop equipment, loading areas, and refuse and recyclables to minimize views from surrounding properties.*

The overall development would be screened via the landscaping required along the site frontage and within the parking lot if conditions are complied with. No rooftop equipment was identified in the building elevation so it is unclear if there would be any required screening from the public. Should rooftop equipment be allowed, the applicant would be required to provide a screening plan for the mechanical equipment.

The trash enclosure for the building would be located at the northwest corner of the site. The applicant's submittal did not include the refuse and recyclable enclosure elevations. The refuse and recyclables deposit area is enclosed on all sides by a 6-foot tall CMU split face wall with landscaping on the west and north sides. The trash enclosure does not have a roof as part of the required enclosure standard. Staff recommends as a condition of approval that the applicant add a roof to the trash enclosure. Therefore, staff has recommended a condition of approval requiring the applicant to submit revised elevations of the refuse and recyclable enclosure with a gate opening of at least 12 feet (12') wide and a roof that has a minimum vertical clearance of at least fifteen feet (15'), as identified in RMC 4-4-090, or receive an approved modification in accordance with the procedures and review criteria in RMC 4-9-250D, prior to building permit approval.

**Views:** *Recognizing the public benefit and desirability of maintaining visual accessibility to attractive natural features.*

The landscape of the areas is relatively flat with large trees and heavy vegetation restricting visibility from the site. The apartments to the north also restrict views to the north. Therefore, the proposed heights of the structures are appropriate for this situation. The applicant has proposed to limit the height to more than three feet less than that allowed by municipal code which serves to mitigate view impacts from surrounding properties.

**Landscaping:** *Using landscaping to provide transitions between development and surrounding properties to reduce noise and glare, maintain privacy, and generally enhance the appearance of the project.*

See Landscaping discussion under Findings of Fact, Section 18.b.

**Lighting:** *Designing and/or placing exterior lighting and glazing in order to avoid excessive brightness or glare to adjacent properties and streets.*

As stated above, a lighting plan was not provided with the project materials. Staff recommended, as a condition of approval, the applicant be required to provide a lighting plan that adequately provides for public safety without casting excessive glare on adjacent properties at the time of building permit review. The lighting plan will need to depict the direction of the light and the foot candles, such that the lights would not result in light trespass or have a weighty impact on the apartment complex to the north. The lighting plan shall be submitted to, and approved by, the Current Planning Project Manager prior to building permit approval.

#### **H. ONSITE IMPACTS:**

**Structure Placement:** *Provisions for privacy and noise reduction by building placement, spacing and orientation.*

The project is located in an area of multi-family uses. All parcels immediately surrounding the subject property are zoned RM-F with the exception of the properties to the south across SE Petrovitsky Rd which are zoned R-4. The proposed multi-family residential use is anticipated to be compatible with existing and future surrounding uses as permitted on the north half of SE Petrovitsky Rd in the RM-F zone.

The proposed two 3-story structures would be located on the north and south sides of the site with a drive aisle central to the site (*Exhibit 2*). The buildings would have an orientation to the street frontage (SE Petrovitsky Rd).

The projects size, location, lot dimensions, improvement requirements, and right-of-way dedication dictate the project layout and limits. The applicant is proposing a rear yard setback and a west side yard setback in order to retain viability/marketability and achieve a net density of 23.3 du/ac. The applicant is proposing a total of 13 parking stalls. The buildings will meet the front and east side yard setbacks and a variance is required for the west side yard and north rear yard setbacks. See Setback discussion under Findings of Fact, Section 18.b for more information.

The applicant is providing ground floor heat pumps on the south side of Building #1 and the north side of Building #2. Staff recommended, as a condition of approval, the applicant be required to provide landscaping and screening that serves to minimize the visual and acoustic impacts created by the ground floor heat pumps and not be in direct conflict with the proposed landscape plan. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised landscaping plan prior to building permit approval.

**Structure Scale:** *Consideration of the scale of proposed structures in relation to natural characteristics, views and vistas, site amenities, sunlight, prevailing winds, and pedestrian and vehicle needs.*

The design of the townhomes is modern in appearance. The building uses a variety of building materials, such as lap wood siding, stucco and metal railings. Simple edges, detailing and color schemes are used to reflect the modern design the townhomes.

The scale, height and bulk of the proposed buildings are appropriate for the site. The roof ridgelines between each unit are off-set by two feet (2') in height. The third floor balconies, on the street facing building, creates open space in the design and aids in the reduction of the building's overall scale and massing. The roofs are also articulated with semi-steep pitches (6:12) that scale down the building size. Front porches with overhead canopies contribute to the human scale of the building (*Exhibits 3 & 4*).

The scale and bulk of the buildings are also reduced through the use of differing materials. The buildings are comprised of cement plaster, lap wood siding, stucco, exposed posts, windows, garage doors, metal railings, and canopies. A mixture of siding material, changes in color palettes, window placement and sizes are all used to break up the massing and enhance the surface design. The primary pedestrian entrance for the street-facing building (Building #1) is proposed from the south elevation. The primary pedestrian entrance for the building along the north property line (Building #2) is also proposed from the south elevation through the paved drive aisle between the buildings. Each unit has a shared private vehicular access in-between the two buildings.

**Natural Features:** *Protection of the natural landscape by retaining existing vegetation and soils, using topography to reduce undue cutting and filling, and limiting impervious surfaces.*

The site contains five (5) significant trees (trees over 6" in diameter) none of which are proposed to be retained. Renton Municipal Code (RMC) requires that 10 percent of the significant trees onsite be retained. Because the applicant is not proposing to retain any of the existing trees, RMC requires a 6:1 tree replacement value ratio. The applicant is proposing three (3) replacement trees that are 2 inches (2") in caliper. As proposed, the applicant would comply with the tree retention/replacement requirements of the code.

Topographically, the site is relatively flat. A geotechnical report for the site was submitted. Four test pits were dug on site at depths from 2.5 feet to 4.5 feet. In all cases topsoil or fill was found at the top layer (.5 feet to 2 feet deep) and glacial till soils or 'hardpan' was encountered in all four test pits 2.5 feet and below. Based on the soils encountered during the subsurface exploration, glacial till soils will not support onsite infiltration of stormwater (*Exhibit 7*).

The project would not impact steep slopes or result in extensive grading. The applicant estimates

earthwork quantities at 500 cubic yards, limited to standard clearing, grubbing and sub-grade prep for the structures and pavement areas (*Exhibit 10*). The cutting and filling will be generally balance with some export of material.

**Landscaping:** *Use of landscaping to soften the appearance of parking areas, to provide shade and privacy where needed, to define and enhance open spaces, and generally to enhance the appearance of the project. Landscaping also includes the design and protection of planting areas so that they are less susceptible to damage from vehicles or pedestrian movements.*

The landscaping is used to provide a transition between the proposed development, SE Petrovitsky Rd, the abutting apartments, and the future development parcel to the east. The applicant is proposing landscaping around the perimeter of the site and surface parking lot which includes 15 trees, 117 shrubs, along with 2,810 square feet of lawn and kinnickinnick groundcover (*Exhibit 5*). The proposed landscaping would provide visual relief, define areas of pedestrian circulation, and add to the aesthetic enjoyment of the area year-round. In addition, the landscaping will also soften the appearance of the surface parking, refuse and recycling enclosure and generally enhances the appearance of the project if all conditions of approval are complied with.

**I. ACCESS:**

**Location and Consolidation:** *Providing access points on side streets or frontage streets rather than directly onto arterial streets and consolidation of ingress and egress points on the site and, when feasible, with adjacent properties.*

The proposed residential development is expected to utilize the existing 37-foot ingress/egress driveway approach, currently being used by Stonebrook Apartments. The access point within the applicant's 30' access easement includes the following improvements: an entrance lane from SE Petrovitsky Rd, a dedicated right turn out and a left turn out onto SE Petrovitsky Rd. No additional ingress or egress curb cuts are proposed.

The proposed development is expected to maintain the safety and efficiency of pedestrian and vehicle circulation on the site if all conditions of approval are complied with.

**Internal Circulation:** *Promoting safety and efficiency of the internal circulation system, including the location, design and dimensions of vehicular and pedestrian access points, drives, parking, turnarounds, walkways, bikeways, and emergency access ways.*

The internal circulation of the site has been simplified with the consolidation of one drive aisle to serve both buildings, access through the 30' shared private access easement on the west side of the property, and shared access to SE Petrovitsky Rd with the apartments. Internal pedestrian connections to the existing public sidewalk network and across the proposed drive aisle are proposed in order to provide safe and efficient pedestrian access throughout the site and to other abutting sites.

The site development would include only one surface parking stall within the surface lot and 12 garage spaces on the first floor of the units. This brings the total required parking for the site to 13 stalls, thereby complying with the parking requirements for the proposed use.

**Loading and Delivery:** *Separating loading and delivery areas from parking and pedestrian areas.*

There are no dedicated loading or delivery areas proposed on site.

**Transit and Bicycles:** *Providing transit, carpools and bicycle facilities and access.*

Based on the proposal for nine (9) residential units, five (5) bicycle parking stalls are required to be provided. Each of the nine (9) proposed garage units would allow for sufficient onsite bicycle parking, complying with the standards outline in RMC 4-4-080F.11.

**Pedestrians:** *Providing safe and attractive pedestrian connections between parking areas, buildings, public sidewalks and adjacent properties.*

The existing sidewalks within the right-of-way along SE Petrovitsky Rd are proposed to be retained by the

applicant. Should the applicant formally apply for a street modification, staff has indicated that that the City would support a modification allowing the existing concrete walk to remain matching the alignment on the entire road, additional street trees may be required to be planted behind the sidewalk and right-of-way dedication will still be required.

The applicant is proposing a pedestrian sidewalk to the north elevation or back of the building. No entrance or exist doors are proposed on the north elevation of Units 2A-2E of Building #2. Staff recommends as a condition of approval that the applicant relocate the pedestrian connection sidewalk, currently proposed on the north elevation, to relocate the sidewalk to the south elevation of Building #2 for Units 2A-2E. The sidewalk shall measure a minimum of 48" in width. The concrete sidewalk shall be flush with the driveway aisle to allow vehicular access to the garages, accessible pedestrian movements from the public sidewalk to the front entry doors, and sufficient two-way travel lanes between the buildings. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised site plan prior to building permit approval.

**J. OPEN SPACE:** *Incorporating open spaces to serve as distinctive project focal points and to provide adequate areas for passive and active recreation by the occupants/users of the site.*

The applicant is proposing various amounts of private usable open space equal per unit, none of which are equivalent to the minimum requirement of 150 square feet per unit. The applicant must provide private usable open space equal to 150 square feet per unit. This may include porches, balconies, decks, or fenced rear yards to individual units. This may include, but is not limited to, adding a back door with a porch and fencing in-between each of the units for Building #2. Increased balcony sizes, porches and adding a balcony to Unit 1C should provide the minimum area of private usable open space required per unit. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised elevation plans, floor plan and/or site plan prior to building permit approval.

**K. VIEWS AND PUBLIC ACCESS:** *When possible, providing view corridors to shorelines and Mt. Rainier, and incorporating public access to shorelines.*

The proposed structure is proposed to be more than three feet (3') less than the allowed building height which allows the opportunity for view corridors to Mt. Rainier to be retained, where applicable. The public access requirement is not applicable as the site is not adjacent to a shoreline.

**L. NATURAL SYSTEMS:** *Arranging project elements to protect existing natural systems where applicable.*

There are no natural systems located on site with the exception of drainage flows. See Drainage discussion under Findings of Fact, Section 18.M.

**M. SERVICES AND INFRASTRUCTURE:** *Making available public services and facilities to accommodate the proposed use.*

**Police and Fire:** Fire and Police Department staff has indicated that their existing facilities are adequate to accommodate the subject proposal. Approved fire sprinkler systems are required throughout the building due to insufficient available fire flow in this area. Separate plans and permits are required by the fire department. Sprinkler systems may be installed per NFPA 13D for single family residential type systems. No fire alarm systems are required. The preliminary fire flow is 1,500 gpm based on fully fire sprinklered buildings and Type VA 1-hour construction. A minimum of two fire hydrants are required (*Exhibit 15*). The applicant would be required to pay an appropriate Fire Impact Fee. Currently this fee is assessed at the rate of \$418.42 per multi-family unit. This fee is paid at the time of building permit issuance.

**Parks and Recreation:** The applicant would be required to pay an appropriate Parks Impact Fee. Currently this fee is assessed at the rate of \$706.95 for multi-family units (3 or 4 units) per unit or \$649.62 for multi-family units (5 or more units) per unit. This fee is paid at the time of building permit issuance.

**Drainage:** The drainage report, technical information report and drainage plans were submitted with the site plan application (*Exhibits 8, 9 & 11*). The drainage report dated October 24, 2014 was submitted by Anstey Engineers. The 0.45 acre site located in the RM-F zone is subject to full drainage review in accordance with the 2009 King County Surface Water Manual and City of Renton Amendments to the KCSWM, Chapters 1 and 2. Based on the City's flow control map, this site falls within the Flow Control Duration Standard, Forested Condition. The engineer proposes to use pervious pavement onsite for sidewalks and portions of the driveway there by reducing the total impervious surface to 9,724 square feet, which is under the threshold for the flow control requirement. A bioswale is proposed for the project. All core and six special requirements have been discussed in the report. The report shows preliminary compliance with the 2009 King County Surface Water Manual and City of Renton Amendments to the KCSWM, Chapters 1 and 2, subject to engineering review with the construction plans.

**Transportation:** The subject site fronts onto SE Petrovitsky Rd. Existing right-of-way width in SE Petrovitsky Rd is 84 feet. In order to meet the City's complete street standards, street improvements including 33 feet of paving from centerline, curb and gutter, 8-foot planter strip, 8-foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site per City code 4-6-060. To build this street section, approximately 9 feet 6 inches (or 9.5 feet) of right-of-way will be required to be dedicated to the City. This will provide for a future right-of-way width of 103 feet. Should the applicant formally apply for a street modification, staff has indicated that that the City would support a modification allowing the existing concrete walk to remain matching the alignment on the entire road, additional street trees may be required to be planted behind the sidewalk and right-of-way dedication will still be required.

In order to mitigate impacts the City's street system the applicant would be required to pay Transportation Impact Fees. Current traffic impact fees are \$498.75 per unit for apartments or \$435.75 unit for owner occupied townhomes. These fees are payable prior to issuance of the building permit.

**Schools:** The Renton School District has provided assurance that students living in the proposed residences can be accommodated at existing facilities (*Exhibit 13*). Students would attend Renton Park Elementary (within walking distance – no busing), Nelsen Middle School (busing provided), and Lindbergh High School (within walking distance – no busing). The proposal would be responsible for all applicable school impact fees.

**Water and Sewer:** Soos Creek services the site with water and sewer utilities. There are storm improvements in SE Petrovitsky Road and in 110th Ave SE. There is a drainage conveyance system running north and south along the west side of the property line. There is a flow spreader fronting the site that appears to be picking up flows from the roadway to the parcel to the west.

**N. PHASING:** The applicant is not requesting phasing.

#### **H. CONSISTENCY WITH VARIANCE CRITERIA:**

*Section 4-9-250B.5 lists four (4) criteria that the Planning Director is asked to consider, along with all other relevant information, in making a decision on an Administrative Variance application. These include the following:*

The Planning Director shall have authority to grant an administrative variance upon making a determination, in writing, that the conditions specified below have been found to exist:

- a. **That the applicant suffers practical difficulties and unnecessary hardship and the variance is necessary because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings of the subject property, and the strict application of the Zoning**

**Code is found to deprive subject property owner of rights and privileges enjoyed by other property owners in the vicinity and under identical zone classification:**

The applicant contends that the narrowness of the site, the need for a bio-swale along the front, a 9 foot 5 inch (9.5') right-of-way dedication at the public street and the need for a central driveway dictates the project layout and limits the buildable dimensions of the project. The rear yard setback requirement of the RM-F zone is 15 feet. The applicant is proposing to reduce the required rear yard setback requirement from 15 feet down to 12 feet which is a 3-foot reduction. The applicant has indicated that compliance with rear yard setbacks of 15 feet required along the north property line would make the project not viable or marketable, since the buildings would have to be narrower, thereby eliminating garage space, square footage and the applicant's ability to sale the product.

Staff has reviewed the applicant's justifications and concur that strict application of the zoning code would deprive the subject property owner of rights and privileges enjoyed by other property owners in the vicinity and under identical classification. The applicant's lot is the smallest multifamily parcel in the area. The multifamily lots in the area are larger, allowing more flexibility within the lot to accommodate the density of the zone.

The three-foot reduction in the setback is the minimum needed in order to construct adequately sized townhomes (that range in size from 1,828 square feet to 2,521 square feet), meet minimum width of the two lane driveway aisle, provide adequate pedestrian connection, provide onsite water quality treatment for the asphalt area through a bio-swale, and provide the minimum amount of right-of-way dedication necessary along SE Petrovitsky Rd. The applicant would also need a side yard setback variance from the west property line due to the 30-foot shared private access easement on the west side of the property. The side yard setback is measured from the easement by definition and would therefore require a 5-foot reduction for Building #1 and an 11-foot reduction for Building #2. Should the applicant modify the shared private access easement, on the west side of the property, to the functional as-built environment the applicant would be able to meet the west side yard setbacks of the zone. Additionally, a revision to the existing easement would also move the applicant towards compliance with the maximum density of the zone without a density bonus. Staff concurs with the applicant that special circumstances apply to the subject property and that by adhering strictly to the west side yard and rear yard setback requirements the development potential of the lot would be restricted.

Requiring the applicant to comply with the required rear yard and west side yard setback regulation would impose an unnecessary and undue hardship on the applicant. The applicant would adhere to front and east side yard setback requirements.

**b. That the granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which subject property is situated:**

The applicant contends that the granting of the requested variance, by allowing for the three foot (3') adjustment to the rear yard setback, would not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated. The applicant identifies the apartment building to the north as being 10' from the applicant's north property line and that a 12-foot rear yard setback from the north property line would be comparable to Saddlebrook Apartments along the shared property line. The applicant proposes to retain the existing rockery walls along the north and south property lines as part of the project. The two existing fences located to the north and east of the property will also be retained. The applicant claims that the existing rockery walls and wood fences at this property lines provides and maintains privacy and screening between the existing residence development, future residence of the site and future residence development to the adjoining property. Landscaping along the rear yard will provide

additional screening between the apartments and the townhomes. No public pathway or access on the north property line is proposed.

The applicant would adhere to the required front yard and east side yard setbacks, as well as providing vegetative screening between the neighboring properties and public right-of-way (*Exhibits 2 & 5*). Eaves and cornices may project up to twenty four inches (24") into any required setback. It should also be noted that the 30' shared private access easement on the west side of the property and the required 9'-6" right-of-way dedication requirement along SE Petrovitsky Rd limits the building area and overall development potential of the lot.

Despite not meeting the west side yard setback of 13 feet from the limits of the shared private access easement, the applicant's proposed Building #1 maintains a 38-foot setback from west property line and Building #2 maintains a 32-foot setback from the west property line. A minor modification to the shared private access easement would still allow sufficient access to both the apartments and the townhomes and still allow enough room on the site to meet the west side yard setbacks of the zone.

Based on the above analysis, staff concurs with the applicant that the proposal would not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone. By granting a reduction of the rear yard and west side yard setback it would allow the project to meet the design and development standards of the zone.

**c. That approval shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is situated:**

The applicant maintains that the granting of the requested variance for rear yard setbacks along the north property line would not constitute a grant of special privilege being granted to the property owner. The neighboring parcel maintains a 10-foot setback from shared property line (*Exhibit 2*). The applicant could also adjust the shared private access easement with the apartments to gain back enough side yard to comply with the side yard setbacks of the zone.

Staff has reviewed the request and concurs with the applicant, that the granting of the requested variance would not result in special rights or privileges being granted to the property owner. As mentioned under criterion a, the subject site is constrained by shape, size, existing development requirements to dedicated frontage, and shared access easements. In addition the landscaping along the north property line will result in a positive impact to the apartment building to the north. Therefore, staff believes that reduced west side yard and rear yard setbacks along the north property line would not result in special circumstances where granting of the requested variance does not result in a grant of special privileges.

**d. That the approval as determined by the Planning Director is a minimum variance that will accomplish the desired purpose:**

The applicant contends that the request for a 12-foot rear yard setback along the north property line for Building #2 would be the minimum variance needed to accomplish the goal of constructing adequately sized multifamily townhomes on the subject property.

While townhomes with smaller footprints would satisfy the required rear yard setback on the subject site, the requested 3 foot reduction would accomplish the applicant's desired purpose of constructing reasonably sized townhomes which would be compatible with the market of the neighborhood and still meet the design and developments requirements. A reduced setback will also allow for a small livable space on the first floor that could provide for access to a back yard space or the required private usable open space.

Staff has reviewed the request and concurs with the applicant that the variance for a three foot rear yard setback reduction in the RM-F zone, from 15 feet to 12 feet, is the minimum variance necessary to accomplish the desired goal of constructing attached residential housing to current building, design and development standards.

Staff has also found that a reduction in the west side yard setback from the required 13 feet to a 2-foot side yard setback for Building #2 and an 8-foot side yard setback reduction for Building #1 is also the minimum variance necessary to accomplish the desired goal of constructing attached residential housing to current building, design and development standards without modifying the existing 30-foot shared private access easement.

### **I. CONCLUSIONS:**

1. The proposal complies with the Site Plan Review Criteria if all conditions of approval are met.
2. The proposal is compliant and consistent with the plans, policies, regulations and approvals.
3. Staff does not anticipate any adverse impacts on surrounding properties and uses as long as the conditions of approval are complied with.
4. The proposed use is anticipated to be compatible with existing and future surrounding uses as permitted in the RM-F zoning classification.
5. The scale, height and bulk of the proposed buildings are appropriate for the site.
6. Safe and efficient access and circulation has been provided for all users.
7. There are adequate public services and facilities to accommodate the proposed use.
8. The proposed location would not result in the detrimental overconcentration of a particular use within the City or within the immediate area of the proposed use. The proposed location is suited for the proposed use.
9. The existing use would not result in a substantial or undue adverse effect on adjacent properties.
10. Adequate parking for the proposed use has been provided.
11. The proposed site plan ensures safe movement for vehicles and pedestrians and has mitigated potential effects on the surrounding area if all conditions of approval are complied with.
12. The proposed development would not generate any long term harmful or unhealthy conditions. It is anticipated that the most significant noise, odor, and other potential harmful impacts would occur during the construction phase of the project. Potential noise, light and glare impacts from the proposed use have been evaluated and mitigated if all conditions of approval are complied with.
13. Landscaping has been provided in all areas not occupied by the building or paving. Additional landscaping has been provided in order to buffer adjacent properties from potentially adverse effects of the proposed use.
14. The subject project complies with the policies and codes of the City of Renton, provided all advisory notes and conditions of approval contained in this report and decision are complied with and the Variance is granted.
15. The subject project complies with the Comprehensive Plan designation of Residential Multifamily (RM) and the zoning designation of Residential Multi-Family (RM-F) if all conditions of approval are satisfied.

16. The applicant's proposal for density bonus is allowed per RMC 4-9-065 with the site plan review land use permit. The proposed density of 23.3 du/ac falls within the maximum allowed units within the RM-F zone, as the applicant shall provide two (2) affordable housing units as either for sale or rental.
17. The applicant's proposal to reduce the rear yard setback to 12 feet (12') along the north property line meets the four criteria to be considered in making a decision on a variance request as specified in RMC 4-9-250B.5: (a) that the applicant suffers practical difficulties and unnecessary hardship and the variance is necessary because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings of the subject property, and the strict application of the Zoning Code is found to deprive subject property owner of rights and privileges enjoyed by other property owners in the vicinity and under identical zone classification; (b) that the granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which subject property is situated; (c) that approval shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is situated; (d) that the approval is a minimum variance that will accomplish the desired purpose.
18. The proposal to locate the structures within 2 feet (Building #2) and 8 feet (Building #1) from the existing 30-foot shared private access easement along the west side of the parcel has been considered. A reduction from the 13-foot west side yard setback meets the four criteria to be considered in making a decision on a variance request as specified in RMC 4-9-250B.5.
19. The proposed development would not generate any long term harmful or unhealthy conditions and there would be traffic impacts that are normally associated with an increase in residential population.
20. The proposal would not result in changes to existing land uses which are multi-family residential.
21. The subject site is relatively flat. The project would not impact steep slopes or result in extensive grading.
22. Approval of the proposal would result in the future development of nine (9) townhomes which would comply with all development standards, except the required 15-foot rear yard setback requirement and the 13-foot side yard side yard setback requirement along the access easement.

**J. DECISION:**

The proposed site plan and variance for Sunridge Townhomes, File No. LUA14-001332, SA-A, VAR is **approved** and is subject to the following conditions:

1. The applicant shall comply with the complete street standard requirements of RMC 4-6-060 or request a modification in accordance with the procedures and review criteria in RMC 4-9-250D, prior to or concurrent with building permit approval.
2. The applicant shall be required to revise the site and landscaping plan to provide a minimum of two (2) trees, of small-maturing species, between the bio-swale and rockery in the public right-of-way. Additionally, the applicant shall use minimum two gallon (2-GAL) container shrubs that are at least 12 inches (12") tall at planting. The revised site and landscaping plan shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.
3. The applicant shall provide landscaping and screening that serves to minimize the visual and acoustic impacts created by the ground floor heat pumps and not be in direct conflict with the proposed landscape plan. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised landscaping plan prior to building permit approval.

4. The applicant shall relocate the concrete pedestrian connection sidewalk, from the north to the south side of Building #2, for Units 2A-2E. The sidewalk shall measure a minimum of 48" in width. The concrete sidewalk shall be flush with the driveway aisle to allow vehicular access to the garages, accessible pedestrian movements from the public sidewalk to the front entry doors, and sufficient two-way travel lanes between the buildings. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised site plan prior to building permit approval.
5. The applicant shall be required to submit revised elevations of the refuse and recyclable enclosure with a gate opening of at least 12 feet (12') wide and a roof that has a minimum vertical clearance of at least fifteen feet (15'), as identified in RMC 4-4-090, or receive an approved modification in accordance with the procedures and review criteria in RMC 4-9-250D, prior to building permit approval.
6. The applicant shall add a landscaped planting strip, minimum of 3 feet wide, between the uncovered surface parking stall and the east facing elevation of the enclosed outdoor refuse or recyclable deposit wall. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised site plan and building elevations prior to building permit approval.
7. The applicant shall include people deterrent plants in the bio-swale, in addition to the proposed landscaping, unless the bio-swale is required to provide a fence around the bio-swale. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised landscaping plan prior to building permit approval.
8. The applicant shall provide private usable open space equal to 150 square feet per unit. This may include porches, balconies, decks, or fenced rear yards to individual units. This may also include, but is not limited to, adding a back door with a porch and fencing in-between each of the units for Building #2. Increased balcony sizes, porches and adding a balcony to Unit 1C should provide the minimum area of private usable open space required per unit. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised elevation plans, floor plan and/or site plan prior to building permit approval.
9. If the bio-swale requires safety protection fencing, the applicant shall construct a black rod iron fence (or equivalent) around the perimeter of the bioswale. A revised landscape or fence detail plan shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.
10. The applicant shall add elements of building modulation and/or additional elements of articulation to the north elevation, ground floor façade, of Building #2 that are similar in scale and design found on Building #1. This may include, but is not limited to, adding doors, balconies, awnings, or bay windows. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the revised elevation plans prior to or concurrent with building permit approval.
11. Staff recommends as a condition of approval that the applicant increase the percentage of transparent windows and/or doors on the north elevation of Building #1 to at least fifty percent between the height of four feet (4') and eight feet (8') above the ground. The revised north building elevation for Building #1 shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.
12. The applicant shall be required to provide a lighting plan that adequately provides for public safety without casting excessive glare on adjacent properties at the time of building permit review. The lighting plan will need to depict the direction of the light and the foot candles, such that the lights would not result in light trespass or have a significant impact on the apartment complex to the north. The lighting plan shall be submitted to, and approved by, the Current Planning Project Manager prior to building permit approval.
13. The applicant shall provide water and sewer certificates of availability from Soos Creek prior to building permit application.

14. The applicant shall provide a final detailed landscape plan pursuant to RMC 4-8-120 prior to building permit approval.

15. The applicant shall provide an Affordable Housing Restrictive Covenant and Agreement (the "Covenant") upon the first two units that receive certificate of occupancy. The Covenant is designed to satisfy the granting of the density bonus provision and shall be maintained in perpetuity as affordable housing. The applicant shall submit to, and have approved by, the Current Planning Project Manager, the Covenant prior to or concurrent with building permit approval.

**DATE OF DECISION ON LAND USE ACTION:**

**SIGNATURE:**



**Jennifer Henning, AICP, Planning Director  
Department of Community & Economic Development**

11/24/14  
**Date**

TRANSMITTED this 24<sup>th</sup> day of November, 2014 to the Contact/Applicant/Owner(s):

Property Owners:  
VY Properties  
15012 SE 253rd Pl  
Covington, WA 98042

Applicant/Contact:  
Imad Bahbah, IHB Architects,  
21620 84th Ave S, Ste. 200  
Kent, WA 98032

TRANSMITTED this 24<sup>th</sup> day of November, 2014 to the Parties of Record:  
None

TRANSMITTED this 24<sup>th</sup> day of November, 2014 to the following:

C.E. "Chip" Vincent, CED Administrator  
Steve Lee, Development Engineering Manager  
Jan Conklin, Development Services  
Craig Burnell, Building Official  
Vanessa Dolbee, Current Planning Manager  
Fire Marshal  
Renton Reporter

**A. LAND USE ACTION APPEALS, REQUEST FOR RECONSIDERATION, & EXPIRATION:**

The Administrative Site Development Plan Review decision will become final if the decision is not appealed within 14 days of the decision date.

**Administrative Site Development Plan Approval Appeal: Appeals of the administrative site development plan review decision must be filed in writing to the Hearing Examiner on or before 5:00 p.m. on December 8, 2014.**

**APPEALS: An appeal of the decision(s) must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680).** Renton Municipal Code Section 4-8-110 governs appeals the appeals process. Appeals must be filed in writing together with the \$75.00 application fee to Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall - 7th Floor, (425) 430-6510.

**RECONSIDERATION:** Within 14 days of the decision date, any party may request that the decision be reopened by the approval body. The approval body may modify his decision if material evidence not readily discoverable

prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the approval body finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal time frame.

**EXPIRATION:** The Administrative Site Development Plan Review decision will expire two (2) years from the date of decision. A single two (2) year extension may be requested pursuant to RMC 4-9-200J.

**THE APPEARANCE OF FAIRNESS DOCTRINE:** provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.





±30'-10"  
R.O.P.E

Asphalt Shingle - Charcoal Black  
Alum. Railing - Charcoal Black

Stucco - Rust Brown  
Stucco - Light Grey

Side Elevation - West Side

Exposed Conc. Plinth  
MTL Finished Canopy  
WD Fascia - White Typ.

Side Elevation - East Side

±0'-0"  
T.O.S

Hardie Panels - Multi Colored As Shown  
Hardie Board And Batten - Light Grey  
Hardie-Plank Siding 6" Lap - Grey/Blue  
12" Cedar Or Hardie - Horizontal Lap Siding  
(Non-Structural) Post/Beam Trimmed out in Hardie Panel

Front Elevation - South Side

Rear Elevation - North Side

1" = 10'-0"

Sunridae Townhomes - Building 1

±36'-10"  
FINCE

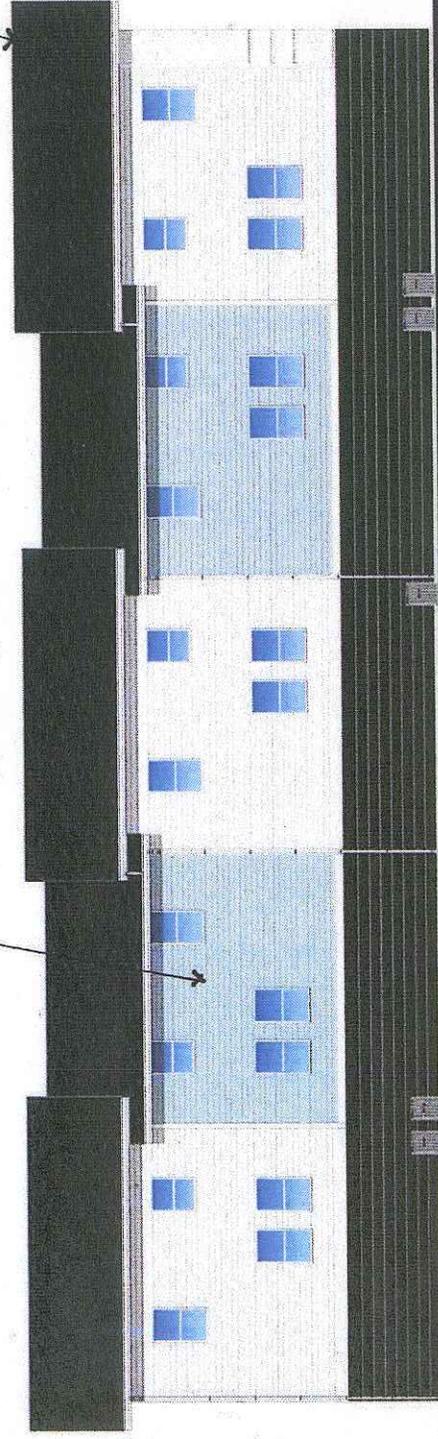


Front Elevation - South Side

Stucco - Light Grey  
Hardie Board And Batten - Light Grey  
Hardie-Plank Siding 6" Lap - Grey/Blue  
Hardie Board And Batten - Rust Brown  
12" Cedar Or Hardie - Horizontal Lap Siding  
(Non-Structural) Post/Beam Trimmed out in Hardie Panel

Side Elevation - West Side

Exposed Conc. Plinth  
WD Fascia - White Typ.  
Asphalt Shingle - Charcoal Black

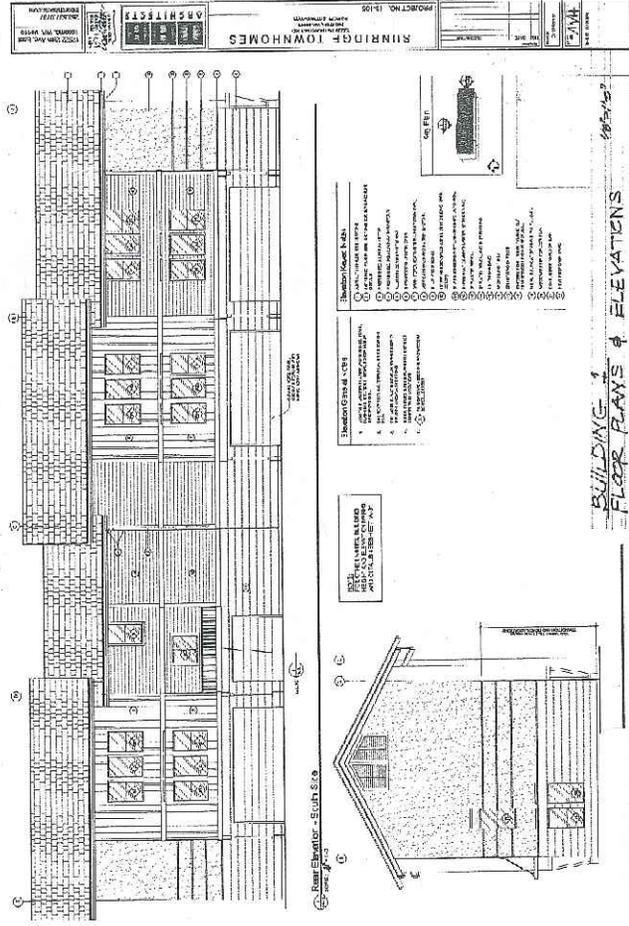
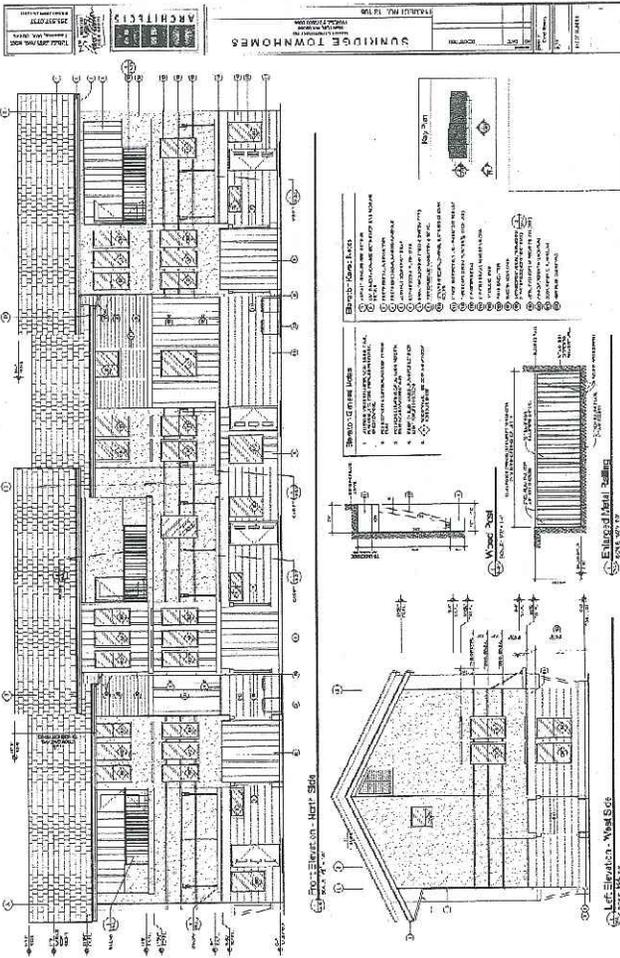


Rear Elevation - North Side

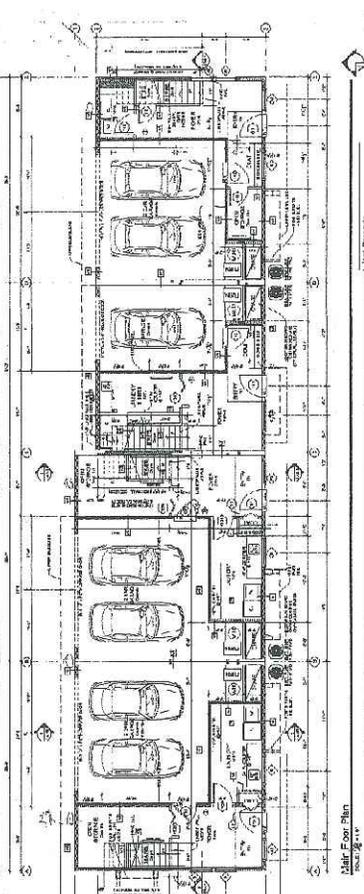
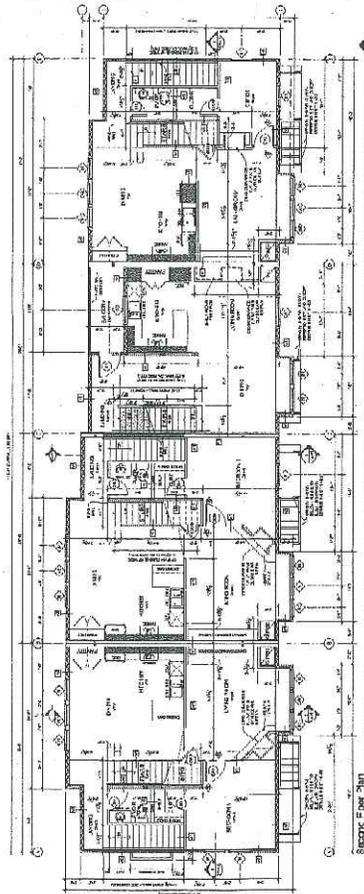
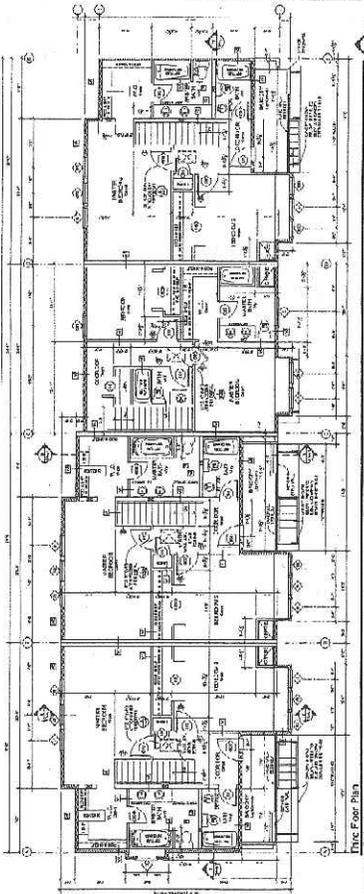
Side Elevation - East Side

1'-5 1/2" x 1'-0"

Sunridge Townhomes -- Building 2



BUILDING 4  
FLOOR PLANS & ELEVATIONS  
12/5/12



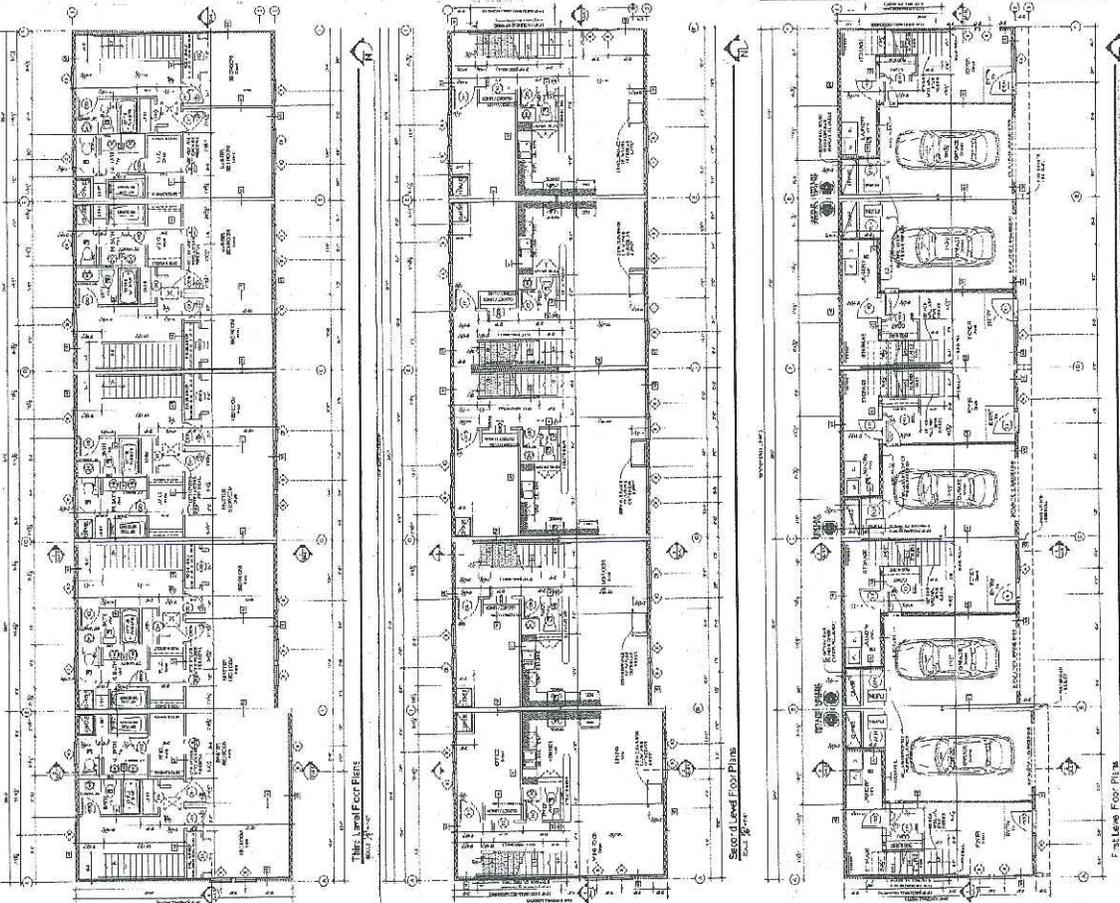
**Legend**

**Room Schedule**

Room No.	Room Name	Area (sq. ft.)
101	Living Room	1,200
102	Kitchen	800
103	Bedroom	1,000
104	Bathroom	500
105	Staircase	300
106	Garage	1,500
107	Storage	200
108	Entry	400
109	Hall	200
110	Living Room	1,200
111	Kitchen	800
112	Bedroom	1,000
113	Bathroom	500
114	Staircase	300
115	Garage	1,500
116	Storage	200
117	Entry	400
118	Hall	200

**Notes**

- ALL ROOMS SHALL BE FINISHED AS NOTED.
- ALL WALLS SHALL BE 8" CMU BLOCK WITH 1/2" GYP BOARD AND PAINT.
- ALL FLOORS SHALL BE POLISHED CONCRETE ON 4" SLAB.
- ALL CEILING SHALL BE 1/2" GYP BOARD.
- ALL ROOFING SHALL BE ASPH/FLT SHINGLES ON 2" INSULATION.
- ALL EXTERIOR WALLS SHALL BE BRICK OR STONE.
- ALL WINDOWS SHALL BE 1/2" CLEAR GLASS WITH ALUMINUM FRAME.
- ALL DOORS SHALL BE 1 3/4" SOLID CORE WITH 1 3/4" GYP BOARD.
- ALL STAIRS SHALL BE 1/2" GYP BOARD WITH 1/4" TREADS AND 1/2" RISES.
- ALL GARAGES SHALL BE POLISHED CONCRETE ON 4" SLAB.
- ALL STORAGE SHALL BE 1/2" GYP BOARD.
- ALL ENTRY SHALL BE POLISHED CONCRETE ON 4" SLAB.
- ALL HALLS SHALL BE 1/2" GYP BOARD.



**GENERAL NOTES**

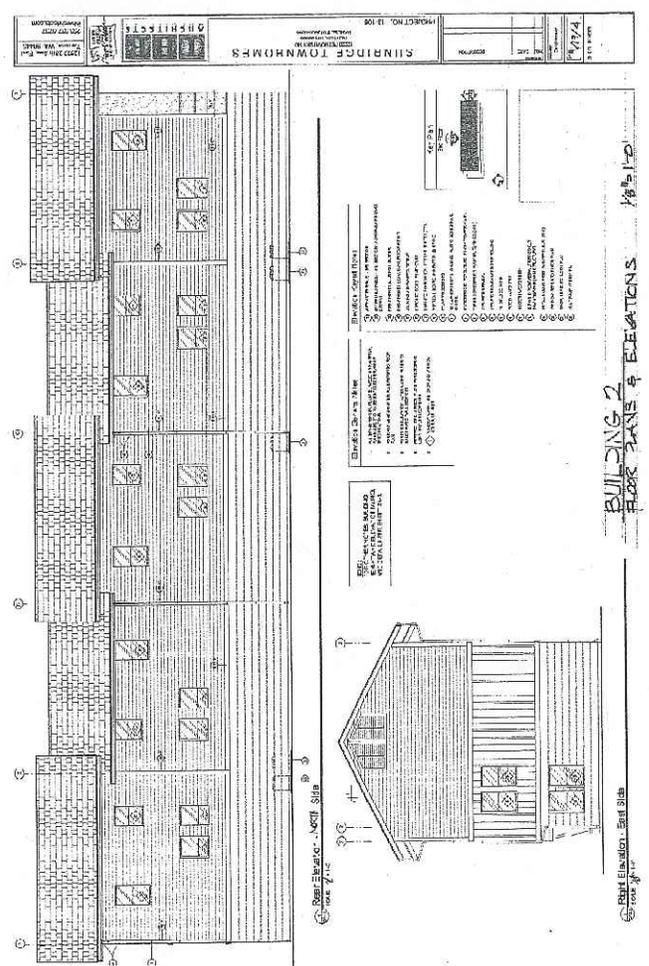
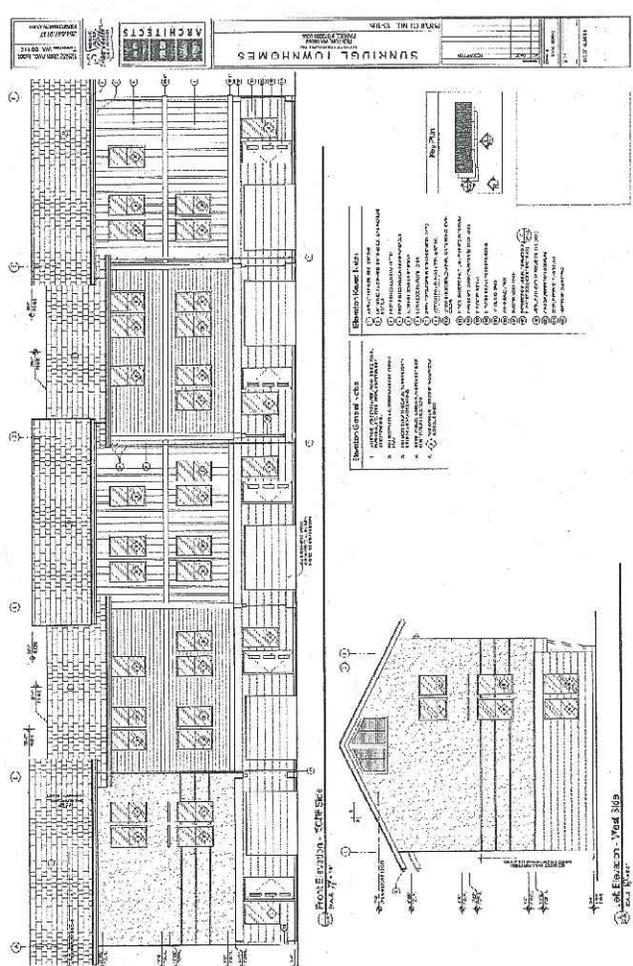
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY CODE FOR RESIDENTIAL BUILDINGS (IECC).
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SWEET'S BUILDING MATERIALS AND METHODS OF CONSTRUCTION (S.M.A.C.S.).
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CONSTRUCTION CODE (IBC).
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).
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**FINISHES**

- 1. WALLS: 5/8" GYP BOARD
- 2. CEILING: 5/8" GYP BOARD
- 3. FLOOR: 3/4" OSB
- 4. ROOF: 1/2" OSB
- 5. EXTERIOR WALLS: 8" CMU
- 6. EXTERIOR ROOF: 2" POLYSTYRENE INSULATION
- 7. EXTERIOR FLOOR: 4" CONCRETE
- 8. INTERIOR WALLS: 5/8" GYP BOARD
- 9. INTERIOR CEILING: 5/8" GYP BOARD
- 10. INTERIOR FLOOR: 3/4" OSB
- 11. INTERIOR ROOF: 1/2" OSB
- 12. INTERIOR EXTERIOR WALLS: 8" CMU
- 13. INTERIOR EXTERIOR ROOF: 2" POLYSTYRENE INSULATION
- 14. INTERIOR EXTERIOR FLOOR: 4" CONCRETE

**NOTES**

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20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).



**BUILDING 2**  
FLOOR PLANS & ELEVATIONS

**SITE INFORMATION:**

**OWNER/DEVELOPER:**  
 SUNRIDGE TOWNHOMES  
 1500 N. W. 10th St., Ft. Lauderdale, FL 33304  
 954-561-1818

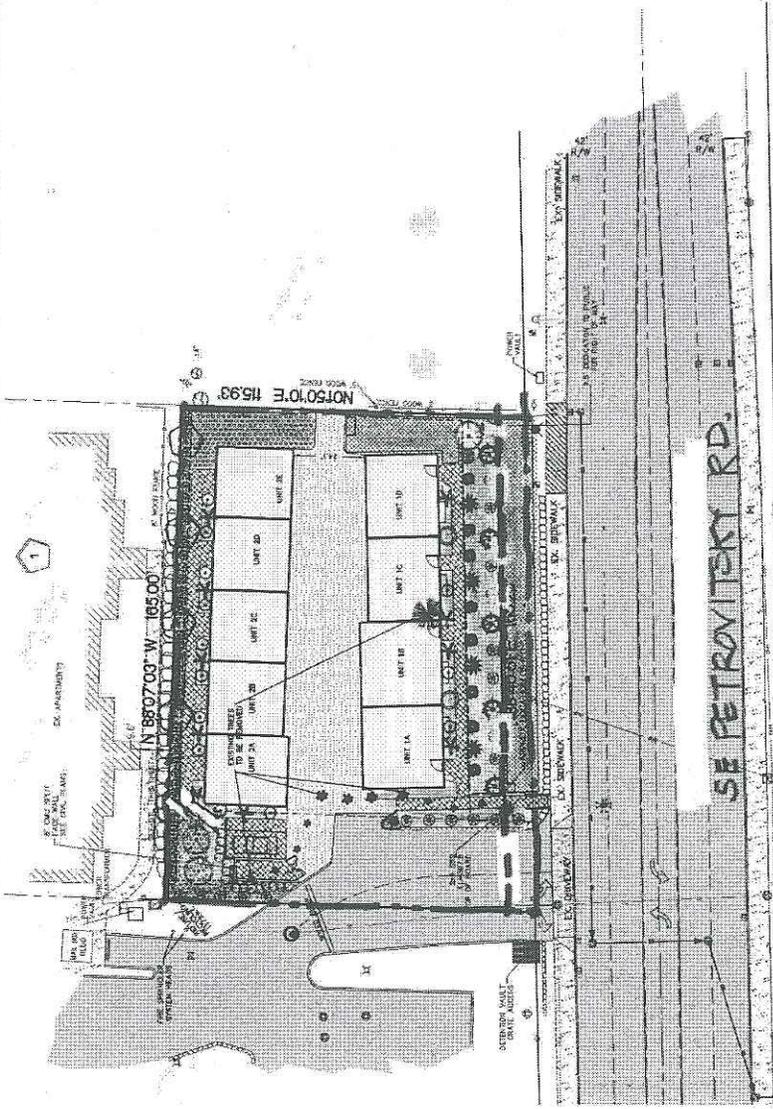
**ENGINEER:**  
 JAMES W. HARRIS, P.E.  
 1500 N. W. 10th St., Ft. Lauderdale, FL 33304  
 954-561-1818

**SURVEYOR:**  
 JAMES W. HARRIS, P.E.  
 1500 N. W. 10th St., Ft. Lauderdale, FL 33304  
 954-561-1818

**PARCEL No.:** 02-2501-0055  
**PARCEL Address:** 15228 SE PENTACOSTA BL., MIAMI, FL 33156

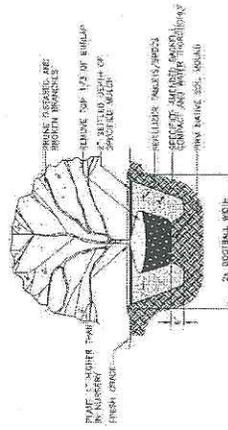


SCALE: 1 inch = 20 ft.  
 (AS SHOWN)

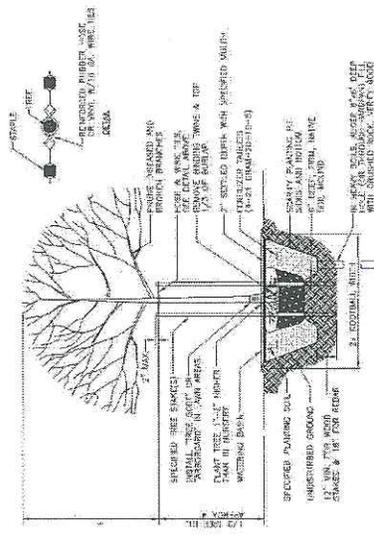
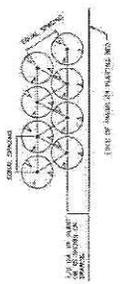


**PLANT MATERIALS LEGEND**

TREES	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (MIN.)	NOTES
1	(Symbol)	Chamaecyparis molkenkii "Green Arrow"	Green Arrow Japanese Cedar	6" HT. WR.	SINGLE TRUNK, WELL BRANCHED
2	(Symbol)	CHAMAECYPARIS LANGSONIANA "DREAGON BLUE"	DREAGON BLUE LAWSON'S CYPRESS	6" HT. MIN.	SINGLE TRUNK, WELL BRANCHED, 20' ON CENTER
3	(Symbol)	CUPRESSOCYPRIS LETLANDII CASTWELLAN	GOLDEN LETLAND CYPRESS	6" HT. MIN.	SINGLE TRUNK, WELL BRANCHED
4	(Symbol)	Pinus colleryana "Glen's Form"	"Glen's Form" Evergreen Pear	1.5" CAL.	SINGLE TRUNK, WELL BRANCHED
<b>SHRUBS &amp; GROUNDCOVERS</b>					
5	(Symbol)	Massachusetts Kalmianchik	Massachusetts Kalmianchik	4" POT @ 30" OC	
6	(Symbol)	Berkley Orange	Berkley Orange	2 GAL @ 4" OC	
7	(Symbol)	Gulf Stream Heavenly Bamboo	Gulf Stream Heavenly Bamboo	2 GAL @ 2" OC	
8	(Symbol)	Forest Flame Pieris	Forest Flame Pieris	5 GAL @ 4 pc	
9	(Symbol)	White Rock Rose	White Rock Rose	19AL @ 10UC	
10	(Symbol)	Emerald Green Arborvitae	Emerald Green Arborvitae		
11	(Symbol)	Diamond Grass	Diamond Grass		
12	(Symbol)	Red Wind Ornamental Grass	Red Wind Ornamental Grass		



**SHRUB AND GROUNDCOVER SPACING DETAIL**



**TREE PLANTING & STAKING DETAIL**

DATE: 07/20/13  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 APPROVED BY: J. HARRIS

**PRECISION & DESIGN**  
 P.L.L.C.  
 1500 N. W. 10th St., Ft. Lauderdale, FL 33304

**SUNRIDGE TOWNHOMES**  
 LANDSCAPING PLAN

**EXHIBIT 5**

**SITE INFORMATION:**

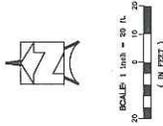
**OWNER/DEVELOPER:**  
 VY PROPERTIES L.L.C.  
 VLAJIMIR DROPAK  
 18000 WOODBRIDGE DRIVE  
 COVINGTON, WA 98042  
 208-351-9289

**ENGINEER:**  
 MATTY M. WOODRUM  
 2017 N. WOODRUM  
 SUITE 100, WA 98041  
 208-351-9289

**SURVEYOR:**  
 GEOMETRIC SURVEYING SERVICES  
 2017 N. WOODRUM  
 SUITE 100, WA 98041  
 208-351-9289

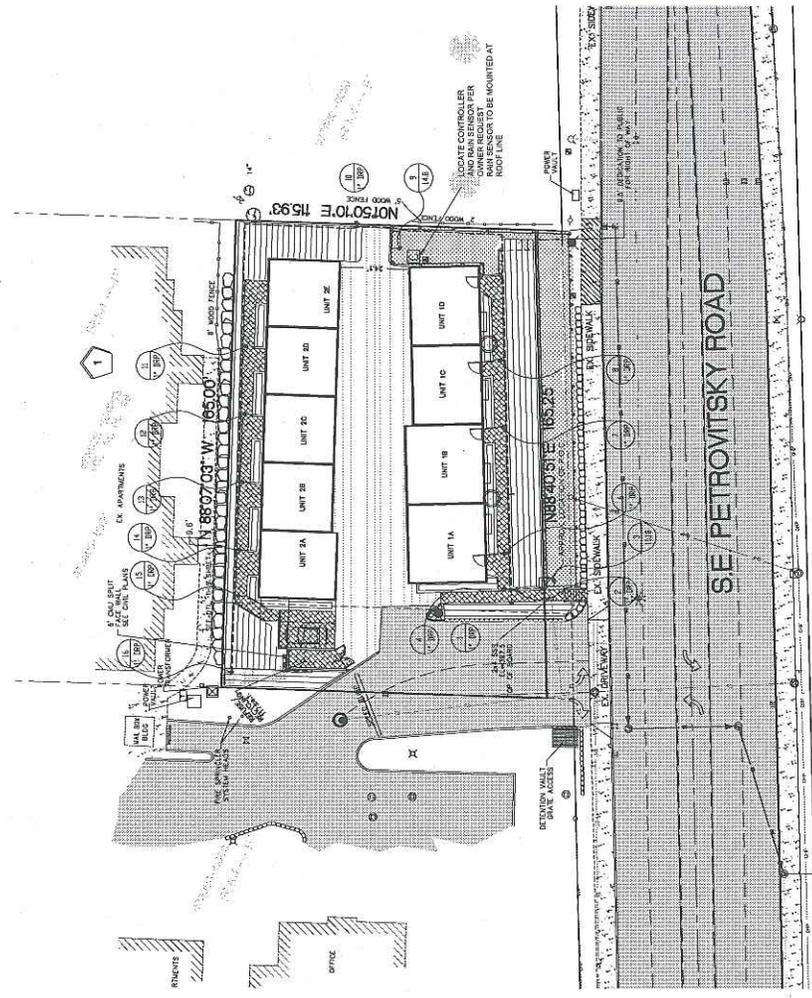
**PARCEL No.:**  
 073800-0055

**PARCEL Address:**  
 12228 SE Petrovitsky Rd., Renton, 98058



**Irrigation Schedule**

SYM.	EQUIPMENT	FEET	GPM	Duration
1	RANBRD 1804 SERIES MPR NOZZLE 100	30	90	10'
2	RANBRD 1804 SERIES MPR NOZZLE 107	30	53	10'
3	RANBRD 1804 SERIES MPR NOZZLE 104	30	79	10'
4	RANBRD 1804 SERIES MPR NOZZLE 107	30	158	10'
5	HUNTER 1260A036V. ADV. STD. N.	40	10	40'
6	HUNTER 1260A036V. ADV. STD. N.	40	8.0	40'
7	HUNTER 1260A036V. ADV. STD. N.	40	4.0	40'
8	RANBRD 1804 SERIES MPR NOZZLE 120	30	45	12'
9	RANBRD 1804 SERIES MPR NOZZLE 121	30	45	12'
10	RANBRD 1804 SERIES MPR NOZZLE 124	30	130	12'
11	RANBRD 1804 SERIES MPR NOZZLE 127	30	2.6	12'
12	RANBRD 1804 SERIES MPR NOZZLE 150	30	92	15'
13	RANBRD 1804 SERIES MPR NOZZLE 151	30	153	15'
14	RANBRD 1804 SERIES MPR NOZZLE 154	30	3.70	15'
15	RANBRD 1804 SERIES MPR NOZZLE 157	30	112	15'
16	RANBRD 1804 SERIES MPR NOZZLE 158ST	40	112	15'
17	RANBRD 1804 SERIES MPR NOZZLE 158ST	30	121	15'
18	WATTS DOUBLE CHECK ASSEMBLY			
19	10V - 6 SERIES AUTO CONTROL VALVE			
20	WATER METER Pkg.			
21	HUNTER RAIN SENSOR 1/2" BY-PASS SWITCH			
22	CHAMPION MANUAL BRAIN VALVE			
23	RANBRD ESP-LX PLUS 6 STA. CONTROLLER (OR EQUAL)			
24	1/2" THRU 1-1/4" CLASS 200 PVC LATERAL LINE			
25	3" SCHEDULE 40 PVC MAINLINE USE WHITE AS COMMON RED FOR SIGNAL AND YELLOW AS SPARE			
26	ARMOR BACKFLOW BOX 1/2" LEAKING LID			
27	ARMOR MANUAL BRAIN VALVE 1/2" BY-PASS SWITCH			
28	ARMOR MANUAL BRAIN VALVE 1/2" BY-PASS SWITCH			
29	HUNTER - HQ QUICK COUPLING VALVE			
30	RANBRD DRIP CONTROL ZONE KIT			
31	DRIP HEADER - RANBRD LD-09-24-500, 90 GPM, 24" ENTER SPACING			
32	DRIP HEADER - RANBRD 16MM BLANK TUBING ULSBHM-00-100			
33	DRIP SUB-MAN LINE - 1" CLASS 200 PVC (TO SUPPLY WATER TO DRIPLINES)			



**SUNRIDGE TOWNHOMES**  
 IRRIGATION PLAN

12228 PETROVITSKY ROAD, RENTON, WA 98058  
 PARCEL # 073800-0055

**PRECISION & DESIGN**  
 P.O. BOX 8081  
 KENT, WA 98042  
 PHONE: (206) 551-7457

**VY PROPERTIES L.L.C.**  
 VLAJIMIR DROPAK  
 18000 WOODBRIDGE DRIVE  
 COVINGTON, WA 98042  
 208-351-9289

REV	REVISION	DATE	APP

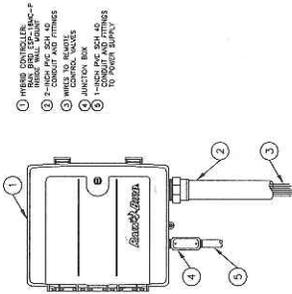
# Irrigation Schedule

SYM.	EQUIPMENT	PSI	GPM	ROUNDS
1	RANBIRD 1804 SERIES MPR NOZZLE 100	30	39	10'
2	RANBIRD 1804 SERIES MPR NOZZLE 120	30	53	10'
3	RANBIRD 1804 SERIES MPR NOZZLE 150	30	79	10'
4	RANBIRD 1804 SERIES MPR NOZZLE 180	30	106	10'
5	HUNTER 120.60.30V. ADV. STI. N.	40	10	40'
6	HUNTER 120.60.30V. ADV. STI. N.	40	10	40'
7	RANBIRD 1804 SERIES MPR NOZZLE 120	30	65	12'
8	RANBIRD 1804 SERIES MPR NOZZLE 120	30	105	12'
9	RANBIRD 1804 SERIES MPR NOZZLE 120	30	130	12'
10	RANBIRD 1804 SERIES MPR NOZZLE 120	30	26	12'
11	RANBIRD 1804 SERIES MPR NOZZLE 120	30	123	15'
12	RANBIRD 1804 SERIES MPR NOZZLE 120	30	185	15'
13	RANBIRD 1804 SERIES MPR NOZZLE 120	30	112	25'
14	RANBIRD 1804 SERIES MPR NOZZLE 120	30	61	25'
15	RANBIRD 1804 SERIES MPR NOZZLE 120	30	121	

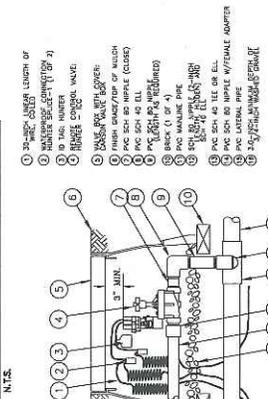
- 16 4-WATT BRASS BALL VALVE
  - 17 4-WATT DOUBLE CHECK ASSEMBLY
  - 18 1CV - G SERIES AUTO CONTROL VALVE
  - 19 WATER METER, P.O.C.
  - 20 HUNTER RAIN SENSOR W/ BY-PASS SWITCH
  - 21 CHAMPTON MANUAL DRAIN VALVE
- C** RANBIRD ESP-LX PLUS B STA. CONTROLLER (OR EQUAL)  
 1/2" THRU 1-1/4" CLASS 200 PVC LATERAL LINE  
 3" SCHEDULE 40 PVC MAINLINE  
 DIRECT BURY CONTROL WIRING, USE WHITE AS COMMON  
 RED FOR SIGNAL, AND YELLOW AS SPARE  
 1/2" THRU 1-1/4" CLASS 200 PVC LATERAL LINE  
 ARMOR CONTROL VALVE BOX W/ GREEN LOCKING LID  
 ARMOR MANUAL DRAIN VALVE BOX W/ GREEN LID
- D** HUNTER - 1/2 QUICK COUPLING VALVE  
 RANBIRD DRIP CONTROL ZONE KIT  
 IMPI. LINE - RANBIRD 1/2-99-24-500, 30 GPM, 24" EMITTER SPACING  
 DRIP HEADERS - RANBIRD 1/2-99-24-500, 30 GPM, 24" EMITTER SPACING  
 DRIP SUPPLY LINE - 1" CLASS 200 PVC 110 SUPPLY WATER TO IMPI. LINE

# IRRIGATION NOTES:

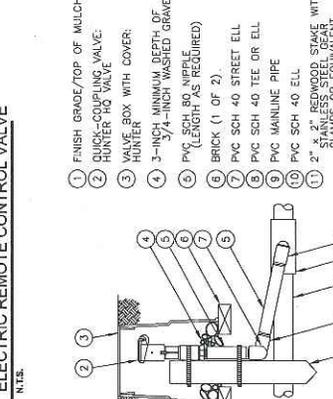
- IRRIGATION SYSTEM DESIGN ASSUMES 50 PSI AT THE SOURCE. IRRIGATION DESIGN IS BASED ON 30 PSI. INSTALLER TO VERIFY ADEQUATE STATIC WATER PRESSURE AT TIME OF INSTALLATION.
- IRIGATION LINES SHALL BE SLOPED TO MAINTAIN UNIFORM SURFACE DRAINAGE. ALL VALVES SHALL BE INSTALLED WITH FINISHED GRADE.
- INSTALL ALL EQUIPMENT PER STATE AND LOCAL CODES. CALL LINE LOCATIONS PRIOR TO DIGGING AT 1-800-854-3555. THE INSTALLER IS RESPONSIBLE FOR ALL PERMITS, TESTS AND INSPECTIONS AS REQUIRED.
- SEE CIVIL PLANS TO VERIFY ALL UTILITY LOCATIONS.
- COORDINATE WITH THE GENERAL CONTRACTOR FOR THE REQUIRED POWER AND INSTALLATION OF SLEEVING.
- INSTALL MANUAL DRAINS AT ALL LOW POINTS AND RECORD ALL LOCATIONS ON THE RECORD DRAWINGS.
- INSTALL LINE FLUSHING VALVES AT LOW POINTS AND AIR RELIEF VALVES AT HIGH POINTS IN ALL DRIP ZONES.
- INSTALL LINE CONTROLLER AS PER DETAIL. COORDINATE WITH THE GENERAL CONTRACTOR FOR THE REQUIRED POWER AND INSTALLATION OF SLEEVING.
- INSTALL RAIN SENSOR WITH A GUTTER FLIGHT ON SOUTH OR WEST SIDE OF SCHEDULED BUILDING NEAR CONTROLLER.
- ALL LINES SHALL HAVE A MINIMUM COVER OF 18" FOR LATERAL LINES AND 24" FOR MAINLINE COVER OF 24".
- USE SELECT "ROCK FREE" MATERIALS TO BACKFILL ALL TRENCHES AND ALL TRENCHES SHALL BE PROTECTED WITH A MINIMUM OF 2" LAYER UNDER CONCRETE OR ASPHALT.
- AS PART OF THE CONTRACT, THE LANDSCAPE CONTRACTOR IS TO MINIMIZE IN THE FALL AND ACTIVATE THE SYSTEM IN THE SPRING FOR ONE YEAR.



**E** CONTROLLER BOX  
N.T.S.



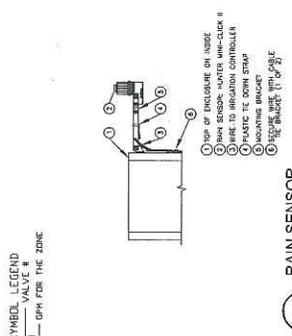
**F** ELECTRIC REMOTE CONTROL VALVE  
N.T.S.



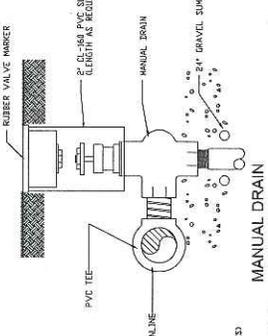
**G** QUICK COUPLING VALVE  
N.T.S.



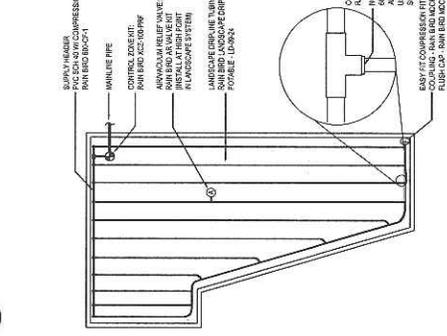
**D** LANDSCAPE DRIPLINE LAYOUT  
N.T.S.



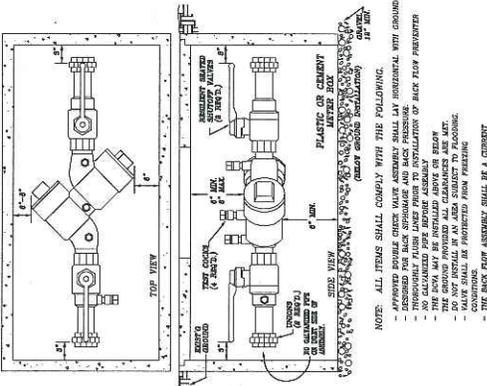
**B** RAIN SENSOR  
N.T.S.



**C** MANUAL DRAIN ASSEMBLY  
N.T.S.

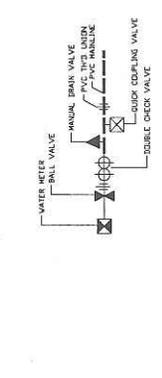


**A** FEBCO 850 DOUBLE CHECK VALVE ASSEMBLY, 2" AND SMALLER  
N.T.S.



**A** FEBCO 850 DOUBLE CHECK VALVE ASSEMBLY, 2" AND SMALLER  
N.T.S.

- NOTE: ALL ITEMS SHALL COMPLY WITH THE FOLLOWING.**
- APPROVED DOUBLE CHECK VALVE ASSEMBLY SHALL LAY HORIZONTAL WITH GROUND.
  - ASSEMBLY SHALL BE INSTALLED WITH A MINIMUM OF 2" CLEARANCE FROM ALL SURFACES.
  - DO NOT INSTALL IN AN AREA SUBJECT TO FLOODING.
  - DO NOT INSTALL IN AN AREA SUBJECT TO FREEZING.
  - THE BACK FLOW ASSEMBLY SHALL BE A CORROSION RESISTANT MATERIAL.
  - THE BACK FLOW ASSEMBLY SHALL BE A CORROSION RESISTANT MATERIAL.
  - THE BACK FLOW ASSEMBLY SHALL BE A CORROSION RESISTANT MATERIAL.



**H** P.O.C. PLAN VIEW  
N.T.S.

**PRECISION & DESIGN**  
 P.O. BOX 5041  
 KENT, WA 98042  
 PHONE: (206) 551-7557

**VY PROPERTIES LLC**  
 VLADIMIR DROPAK  
 100 W. 10TH AVE. SUITE 200  
 KENT, WA 98042  
 206-331-9289

**SUNRIDGE TOWNHOMES**  
 IRRIGATION NOTES, LEGEND & DETAILS

12228 PETROVITSKY ROAD, RENTON, WA 98058  
 PARCEL # 073900-0055

REVISION DATE APPR

REVISION DATE APPR



**GEOTECHNICAL ENGINEERING STUDY  
PROPOSED 7 - UNIT APARTMENT BUILDING  
12228 PETROVITSKY ROAD  
RENTON, WASHINGTON**

G-2871

Prepared for

Mr. Vladimir Drofiak  
c/o: Mr. Ruslan Lev  
P.O. Box 8081  
Kent, WA 98042

April 20, 2009

**GEO Group Northwest, Inc.  
13240 NE 20th Street, Suite 10  
Bellevue, WA 98005  
Phone: (425) 649-8757  
E-mail: [info@geogroupnw.com](mailto:info@geogroupnw.com)**

**EXHIBIT 7**

# DRAINAGE REPORT

Sunridge Townhomes

February 12, 2014

## NARRATIVE ON DRAINAGE DESIGN FOR SUNRIDGE TOWNHOMES SMALL SITE TECHNICAL INFORMATION REPORT by: Benjamin P. Anstey, P.E.

The site for the Sunridge Townhomes was previously designed by Anstey Engineering for the Drofyak Apartments under permit B00445. The same design concept was used for the Sunridge Townhomes as under 10,000 sf of new impervious surface is created. Some use of pervious pavement is used where practical and a bio-swale is used for water quality treatment for runoff from the driveway. Only minor changes were needed to the bio-swale and site plan to incorporate the new Sunridge Townhome layout. The point of connection to the downstream drainage system remains the same.

The 0.46+/- acre (19,985sf) site is located on the north side of Petrovitsky Road across from 122<sup>nd</sup> Place SE. The site slopes down to the south. Storm water runoff currently sheet flows off of the yards onto the adjacent gutter of Petrovitsky Road.

The site is located on Parcel 0739000055 in the SW ¼ of Section 28, Township 23 North, Range 5 East, WM in the City of Renton, WA. The site address is: 12228 – SE Petrovitsky Road, Renton, WA 98058

The proposed 6,263sf Townhome will provide a paved access drive with curbs and gutters and underground storm drainage pipes to collect and transfer storm water runoff from the roof and pavements to the piped drainage system in SE Petrovitsky Road via a new piped drain to the existing catch basin. Storm water detention will not be required as there will be less than 0.5cfs of runoff, see computer printouts. The new impervious surface added is 9,854sf (6,263sf bldg + 3,591 sf of asphalt pavement). The property will have 3,591sf of new pollution generating surface, so water quality treatment for the asphalt area will be provided by a bio-swale from the Southwest corner of the parking area to the catch basin in the Southeast corner of the site. The site will add less than 0.5cfs of storm water runoff during a 100 year storm (0.38cfs), so storm water detention is not required. The roof will drain to the existing storm drain in Petrovitsky Road and the parking lot will drain to the bio-swale and on to the Petrovitsky Road drainage system. The site will have 1,742sf of pervious pavers for use in sidewalks and parking areas. Most parking will be provided by garages under the apartments.

Existing Runoff	Developed Runoff	New Impervious Area
2yr 0.09	0.15	Bldg = 6,263sf
10yr 0.2	0.26	Parking = 3,591 sf
25yr 0.25	0.31	
100yr 0.31	0.38	Total = 9,854sf

**Flow Control BMPs were considered in the following order:**

**Full dispersion** – Unable to achieve the minimum required 100 feet of native vegetated flowpath. Therefore, full dispersion is not feasible.

**Full infiltration** – The Alderwood soils do not provide a reliable infiltration capacity for full infiltration of the site. The allowable site area is limited for infiltration facilities.

**Partial Infiltration** – *Partial infiltration is used as there is a piped drainage system to connect to on the southeast corner of the property. Pervious pavement are used to the extent practical (walks and parking areas) and a bio-swale is used which will infiltrate some runoff.*

**Smart Site Design**

Due to the limited size of the lot little could be done to further reduce the impervious area. The development was laid out to create minimum impact. The proposed building is two story to minimize the footprint. The impervious area is less than allowed.

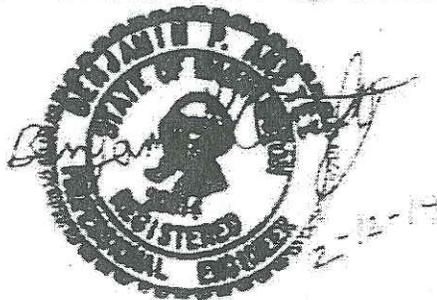
**Preserve native vegetation**

8,293sf of the site will be landscaped (41.7%) The site had previously been cleared so there is no native vegetation to save.

**Erosion and Sediment Controls**

In order to prevent erosion and trap sediment within the project site, the following BMPs will be used approximately as shown on the ESC plan:

- Clearing limits will be marked by fencing or other means on the ground.
- A rocked construction entrance will be placed at the location of the driveway throughout construction.
- Runoff will not be allowed to concentrate and no water will be allowed to point discharge.
- The bio swale will be used as an interceptor ditch prior to site stabilization.
- Mulch will be spread over all cleared areas of the site when they are not being worked. Mulch will consist of air-dried straw and chipped site vegetation.
- Silt fencing will be installed as needed along the lower edge of the site.









**PORTION OF: SE 1/4, SW 1/4, SEC. 28, T-23N, R-5E, W.M.**

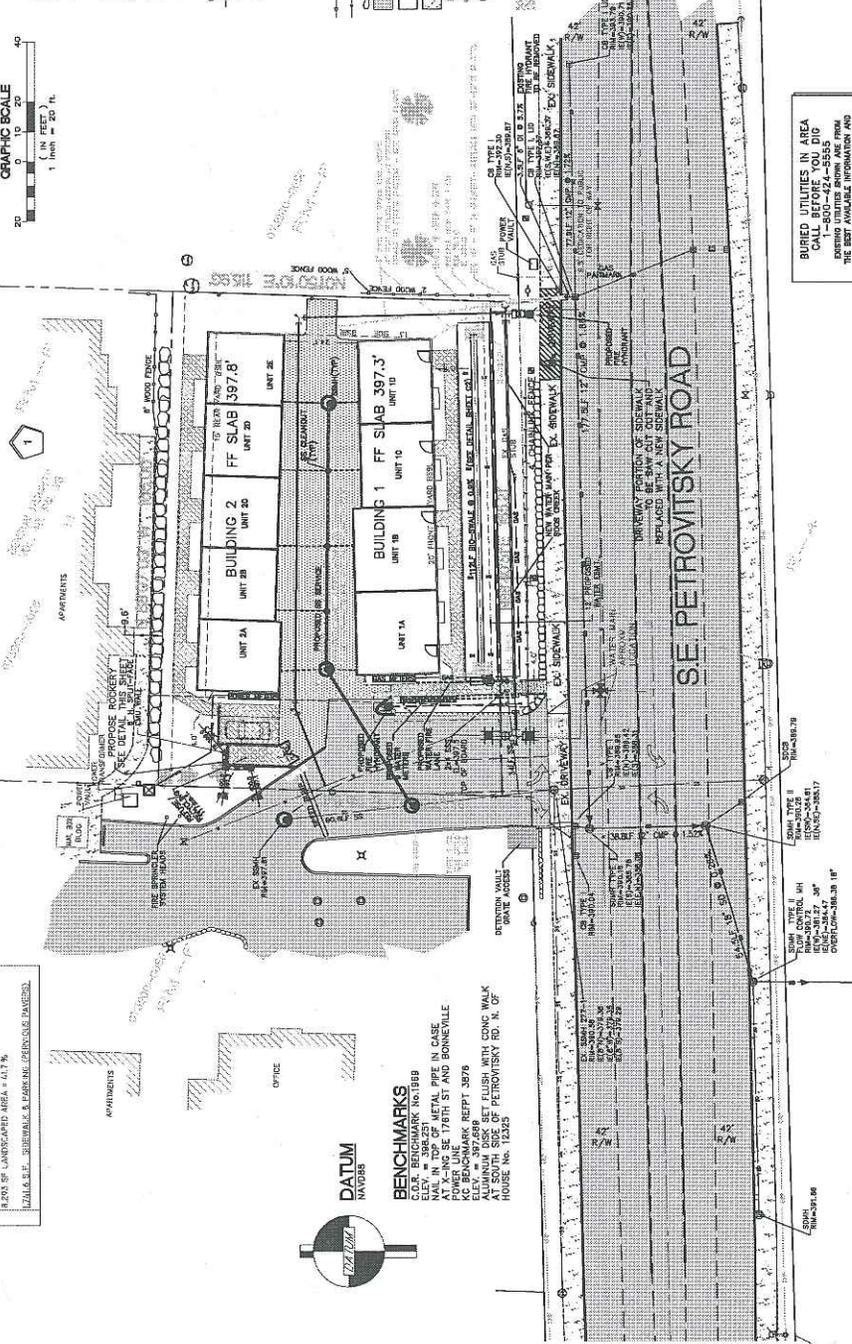


- LEGEND**
- SANITARY SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - STORM DRAIN CATCH BASIN
  - EX. GUYWIRE
  - POWER TRANSFORMER
  - CABLE TV RISER
  - UTILITY POLE AND/OR
  - UTILITY POLE WITH DROP
  - POWER POLE WITH DISTRIBUTION
  - POWER POLE WITH DISTRIBUTION
  - OVERHEAD POWER
  - EXISTING SIGN
  - TELEPHONE RISER
  - MAIL BOX
  - FIRE HYDRANT
  - WATER METER
  - WATER VALVE
  - WOOD FENCE (W/F)
  - CHAIN LINK FENCE (CLF)
  - CONCRETE
  - ASPHALT
  - EX. BRICK
  - EX. BRICK
  - EX. CONCRETE
  - FIRE TRAIL
  - CEDAR TREE
  - ALDER



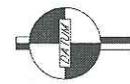
**NOTES:**

1. AFTER EACH SECTION HAS APPROVED THE PROPOSED CONDITIONS, THE APPROVED PRINTS WILL BE USED FOR THE PERMITS AND FOR THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



**BUILDING COVERAGE CALC:**

JOINT	1.50
6.243 S.F. BUILDING FOOTPRINT	
31.57% BUILDING COVERAGE	
140.56 S.F. TOTAL LOT AREA	
1.00% TOTAL LOT AREA	
140.56 S.F. TOTAL LOT AREA	
1.00% TOTAL LOT AREA	
140.56 S.F. TOTAL LOT AREA	
1.00% TOTAL LOT AREA	
140.56 S.F. TOTAL LOT AREA	
1.00% TOTAL LOT AREA	



**BENCHMARKS**

- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 398.251
- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 170.011
- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 397.978
- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 397.978
- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 397.978
- MARK IN TOP OF METAL PIPE IN CASE
- ELEV. = 397.978

**BURIED UTILITIES IN AREA**  
CALL BEFORE YOU DIG  
EXISTING UTILITIES SHOWN ARE FROM  
THE BEST AVAILABLE RECORDS AND  
DO NOT REPRESENT THE LOCATION OR DEPTH.

**NOTE: CALL 1-800-424-5555 BEFORE YOU DIG**

**SITE INFORMATION:**

**OWNER/DEVELOPER:**  
VY PROPERTIES LLC  
18012 SE 253RD PLACE  
COMMUNION, WA 98042  
PHONE: (206) 303-7639  
FAX: (425) 486-0267  
EMAIL: benanstey@juno.com

**ENGINEER:**  
ANSTEY ENGINEERING  
12228 SE Petrovitsky Rd., Seattle, 98108  
PHONE: (206) 303-7639  
FAX: (425) 486-0267  
EMAIL: benanstey@juno.com

**SURVEYOR:**  
ANSTEY ENGINEERING  
12228 SE Petrovitsky Rd., Seattle, 98108  
PHONE: (206) 303-7639  
FAX: (425) 486-0267  
EMAIL: benanstey@juno.com

**PARCEL No.:**  
12228 SE Petrovitsky Rd., Seattle, 98108

**PARCEL Address:**  
12228 SE Petrovitsky Rd., Seattle, 98108

NO.	DATE	REVISIONS	BY	APP'D
1	05/14/14	COMMENTS REVISIONS	RL	



**PROJECT:**  
SUNRIDGE TOWNHOMES

**CLIENT:**  
VY PROPERTIES LLC  
18012 SE 253RD PLACE  
COMMUNION, WA 98042  
PHONE: (206) 303-7639  
FAX: (425) 486-0267  
EMAIL: benanstey@juno.com

**UTILITIES PLAN**

**ae ANSTEY ENGINEERING**

8627 NE 180th St.  
BOTHELL, WA 98011  
PHONE: (206) 303-7639  
FAX: (425) 486-0267  
EMAIL: benanstey@juno.com

**NOTE: CALL 1-800-424-5555 BEFORE YOU DIG**

**EXHIBIT 12**

## Clark Close

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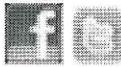
**From:** Randy Matheson <randy.matheson@rentonschools.us>  
**Sent:** Tuesday, October 21, 2014 8:43 AM  
**To:** Sabrina Mirante  
**Cc:** Clark Close; Kayla Steckler  
**Subject:** RE: City of Renton Notice of Application - Sunridge Townhomes

Students who would live at 12228 SE Petrovitsky Road would attend:

- Renton Park Elementary (within walking distance, no busing)
- Nelsen Middle School (busing provided)
- Lindbergh High School (Within walking distance, no busing)

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 |

[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us) | [www.rentonschools.us](http://www.rentonschools.us) |



---

**From:** Sabrina Mirante [<mailto:SMirante@Rentonwa.gov>]  
**Sent:** Monday, October 20, 2014 4:51 PM  
**To:** Randy Matheson; Kayla Steckler  
**Cc:** Clark Close  
**Subject:** FW: City of Renton Notice of Application - Sunridge Townhomes

Hello Randy,

Good Monday to you. We sent the attached request over, I think when Nancy must have been leaving. We did not receive a response back.

Would you mind replying to this email with a list of the schools impacted by this project?

I didn't attach the email form this time, just the info we sent over in the old format. Your reply with a list of schools will be fine.

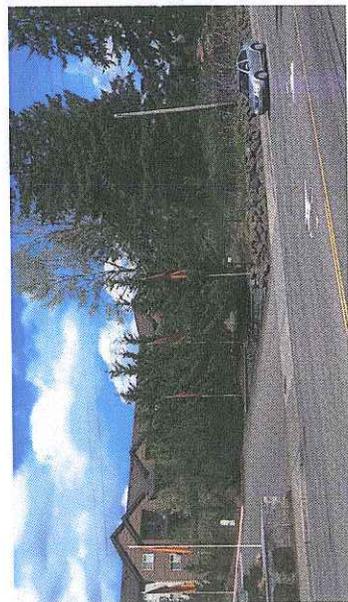
Thank you!

*Sabrina Mirante, Planning Secretary*

City of Renton | CED | Planning Division  
1055 S Grady Way | 6th Floor | Renton, WA 98057  
Phone: 425.430.6578 | Fax: 425.430.7300 |  
[smirante@rentonwa.gov](mailto:smirante@rentonwa.gov)

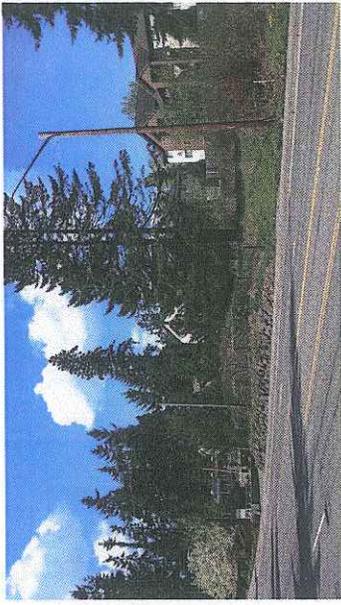


**EXHIBIT 13**



# Sunridge Townhomes

Existing Site Conditions



# Sunridge Townhomes

Existing Site Conditions



**Application Date:** September 25, 2014  
**Name:** Sunridge Townhomes

**Site Address:** 12228 SE PETROVITSKY RD  
 RENTON, WA 98058-6603

**Plan - Planning Review**

Version 1 | November 04, 2014

<b>Engineering Review Comments</b>	Jan Illian   425-430-7216   jillian@rentonwa.gov
<p><b>Recommendations: EXISTING CONDITIONS</b></p> <p><b>WATER</b> Water service will be provided by Soos Creek Water and Sewer District. A water availability certificate will be required to be submitted to the City prior to building permit application.</p> <p><b>SEWER</b> Sewer service will be provided by Soos Creek Water and Sewer District. A sewer availability certificate will be required to be submitted to the City prior to building permit application.</p> <p><b>STORM</b> There are storm improvements in SE Petrovitsky Road and in 110th Ave SE.</p> <p><b>STREETS</b> There are frontage improvements in SE Petrovitsky.</p> <p><b>CODE REQUIREMENTS</b></p> <p><b>STORM DRAINAGE</b></p> <ol style="list-style-type: none"> <li>1. There is a drainage conveyance system running north and south along the west side of the property line. There is a flow spreader fronting the site that appears to be picking up flows from the roadway to the parcel to the west.</li> <li>2. A drainage plan and drainage report was submitted with the site plan application. The drainage report dated October 24, 2014 was submitted by Anstey Engineers. The 0.45 acre site located in the RM F zone is subject to full drainage review in accordance with the 2009 King County Surface Water Manual and City of Renton Amendments to the KCSWM, Chapters 1 and 2. Based on the City's flow control map, this site falls within the Flow Control Duration Standard, Forested Condition. The engineer proposes to use pervious pavement onsite for sidewalks and portions of the driveway there by reducing the total impervious surface to 9,724 square feet, which is under the threshold for the flow control requirement. A bioswale is proposed for the project. All core and six special requirements have been discussed in the report.</li> <li>3. A Geotechnical Report dated April 20, 2009 was submitted by GEO Group Northwest Inc. with the site plan application. Four test pits were dug on site at depths from 2.5 feet to 4.5 feet. In all cases topsoil or fill was found at the top layer (.5 feet to 2 feet deep) and glacial till and hardpan was encountered in all four test pits 2.5 feet and below. Based on the soils encountered during the subsurface exploration, glacial till soils will not support infiltration of onsite stormwater.</li> <li>4. Surface Water System Development fees of \$0.448 per square foot of new impervious surface will apply. This is payable prior to issuance of the construction permit.</li> </ol> <p><b>TRANSPORTATION/STREET</b></p> <ol style="list-style-type: none"> <li>1. Existing right of way width in this section of SE Petrovitsky Road is 84 feet. This street has been identified as a principal arterial. To meet the City's new complete street standards, street improvements including 33 feet of paving from centerline, curb and gutter, 8 foot planter strip, 8 foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site per City code 4 6 060. To build this street section, approximately 9.5 feet of right of way will be required to be dedicated to the City. This will provide for a future right of way width of 103 feet.</li> <li>2. Staff will support a modification allowing the existing concrete walk to remain matching the alignment on the entire road. Additional street trees may be required to be planted behind the walk. Right of way dedication will still be required.</li> <li>3. Current traffic impact fees are \$498.75 per unit for apartments or \$435.75 per unit for owner occupied townhomes. Credit will be given for the existing home. These fees are payable prior to issuance of the building permit.</li> <li>4. Street lighting is required if lighting levels do not meet city code.</li> </ol> <p><b>GENERAL COMMENTS</b></p> <ol style="list-style-type: none"> <li>1. All construction utility permits for drainage and street improvements will require separate plan submittals. All utility plans shall conform to the Renton Drafting Standards. Plans shall be prepared by a licensed Civil Engineer.</li> <li>2. When the utility plans are complete, please submit three (3) copies of the drawings, two (2) copies of the drainage report, permit application and an itemized cost of construction estimate and application fee at the counter on the sixth floor.</li> <li>3. Paving and trench restoration will comply with the City's Trench Restoration and Overlay Requirements.</li> <li>4. Rockeries or retaining walls greater than 4 feet in height will be require a separate building permit. Structural calculations and plans shall be submitted for review by a licensed engineer. Special Inspection is required.</li> <li>5. A tree removal and tree retention/protection plan shall be included with the civil plan submittal.</li> </ol>	

<b>Fire Review - Building Comments</b>	Corey Thomas   425-430-7024   cthomas@rentonwa.gov
Empty space for Fire Review comments	

**EXHIBIT 15**



Plan - Planning Review

Version 1 | November 04, 2014

<b>Fire Review - Building Comments</b>	Corey Thomas   425-430-7024   cthomas@rentonwa.gov
Recommendations: Environmental Impact Comments: 1. Fire impact fees are applicable at the rate of \$418.42 per multi family unit. This fee is paid at time of building permit issuance.	
Code Related Comments: 1. The preliminary fire flow is 1,500 gpm based on fully fire sprinklered buildings and Type VA 1 hour construction. Without fire sprinklers and 1 hour construction, this project will not be approved for building permit. A minimum of two fire hydrants are required. One within 150 feet and one within 300 feet of the building. Water service from Soos Creek Water District. Water availability certificate is required.	
2. Approved fire sprinkler systems are required throughout the building due to insufficient available fire flow in this area. Separate plans and permits required by the fire department. Sprinkler systems may be installed per NFPA 13D for single family residential type systems. No fire alarm systems are required.	
3. Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the on site roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall support a minimum of a 30 ton vehicle and 322 psi point loading. Access easements required from adjacent property owners.	
4. An electronic site plan is required prior to occupancy for pre fire planning purposes.	
<b>Police Review Comments</b>	Cyndie Parks   425-430-7521   cparks@rentonwa.gov
Recommendations: Estimated Calls for Service: 7 Minimal impact on police services.	