

**ADMINISTRATIVE SITE DEVELOPMENT PLAN REPORT & DECISION**

<b>REPORT DATE:</b>	April 13, 2015
<b>Project Name:</b>	Highland Oasis
<b>Owner/Applicant:</b>	Jennifer Zhou, 12419 NE 140 <sup>th</sup> St, Kirkland, WA 98034
<b>Contact:</b>	Andrew Wang, 12419 NE 140 <sup>th</sup> St, Kirkland, WA 98034
<b>File Number:</b>	LUA14-000335, SA-A
<b>Project Manager:</b>	Jill Ding, Senior Planner
<b>Project Summary:</b>	Application to construct two 2,688 square foot duplexes on an 11,180 square foot site zoned R-14 (residential 14 dwelling units per acre). The applicant has submitted a request for the approval of one additional dwelling unit per the criteria set forth under RMC 4-9-065 Density Bonus Review. To qualify for Bonus Density, the applicant has proposed to provide vehicular access to the units via the existing alley to the rear of the property and provide active recreational amenities on site. 1.5 feet of right-of-way dedication would be provided along Jefferson Ave SE. The site is located within an Aquifer Protection Area
<b>Project Location:</b>	1419 Jefferson Ave NE
<b>Site Area:</b>	11,180 sf (0.26 ac)



**A. EXHIBITS:**

- Exhibit 1: Highland Oasis Site Plan Report and Decision
- Exhibit 2: Neighborhood Detail Map
- Exhibit 3: Grading, Site Improvement & Drainage Plans (dated 3/6/2015)
- Exhibit 4: Landscape Plans (sheets T-1, L-1 through L-3) (dated 2/17/2015)
- Exhibit 5: Architectural Plans (sheets T-1, A-1.0 through A-5.0, and A-9.0) (dated 1/13/2015)
- Exhibit 6: Technical Information Report prepared by The Land Developer’s Engineered Solution A Division of The Land Developer, LLC (dated 1/20/2015)
- Exhibit 7: Geotechnical Report prepared by Bergquist Engineering Services (dated 10/4/2013)
- Exhibit 8: Letter from Chip Vincent to Andrew Wang dated 8/15/2014

**B. GENERAL INFORMATION:**

- 1. **Owner(s) of Record:** Jennifer Zhou  
12419 NE 140<sup>th</sup> St  
Kirkland, WA 98034
- 2. **Zoning Designation:** Residential 14 dwelling units per acre (R-14)
- 3. **Comprehensive Plan Land Use Designation:** Center Village (CV)
- 4. **Existing Site Use:** Vacant
- 5. **Neighborhood Characteristics:** The subject property is primarily surrounded by commercial and office uses which include:
  - a. **North:** *Single Family Residence (R-14 zone)*
  - b. **East:** *Duplex and Single Family Residence (R-14 zone)*
  - c. **South:** *Single Family Residence (R-14 zone)*
  - d. **West:** *Duplex and Single Family Residence (R-14 zone)*
- 6. **Site Area:** 11,180 sf (0.26 ac)

**C. HISTORICAL/BACKGROUND:**

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5099	11/01/2004
Zoning	N/A	5100	11/01/2004
Annexation	N/A	1246	04/16/1946

**D. PUBLIC SERVICES:**

- 1. **Existing Utilities**
  - a. **Water:** Water service is provided by the City of Renton. There is a 6 inch cast iron water main in Jefferson Ave NE. Static pressure available is approximately 72 psi. Available fire flow is 1,600 gpm.

- b. Sewer: Sewer service will be provided by the City of Renton. There is an 8 inch sewer main in Jefferson Ave NE.
  - c. Surface/Storm Water: There is no drainage conveyance in Jefferson Ave NE.
2. **Streets**: There are existing street frontage improvements that do not comply with current city standard fronting the site in Jefferson Ave NE.
  3. **Fire Protection**: City of Renton Fire Department

<b>E. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:</b>
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1. **Chapter 2 Land Use Districts**
  - a. Section 4-2-020: Purpose and Intent of Zoning Districts
  - b. Section 4-2-070: Zoning Use Table
  - c. Section 4-2-110: Development Standards for Residential Zoning Classifications
  - d. Section 4-2-115: Residential Design and Open Space Standards
2. **Chapter 4 Property Development Standards**
3. **Chapter 6 Streets and Utility Standards**
  - a. Section 4-6-060: Street Standards
4. **Chapter 9 Procedures and Review Criteria**
  - a. Section 4-9-065: Density Bonus Review
  - b. Section 4-9-200: Site Plan Review
  - c. Section 4-9-250: Variances, Waivers, Modifications, and Alternates
5. **Chapter 11 Definitions**

<b>F. ADMINSTRATIVE SITE PLAN REVIEW FINDINGS OF FACT:</b>
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1. The applicant, Jennifer Zhou, is requesting Administrative Site Plan Review, Density Bonus approval, and modification in order to construct 4 multi-family residential units in 2 duplexes.
2. The site is located on the west side of Jefferson Ave NE and north of NE 12<sup>th</sup> St.
3. The property is zoned Residential 14 Dwelling Units per Acre (R-14) and is within the Center Village (CV) land use designation.
4. The proposed duplexes would be 2 stories and have a height of 28 feet 8 inches.
5. All unit entrances would front Jefferson Ave NE.
6. The site is currently vacant.
7. A total of 6 parking spaces are proposed on the western (rear) portion of the site abutting the alley. Four spaces are proposed within detached garage structures and two additional surface spaces are proposed between the garages on a gravel surface.
8. Access to the site would be provided via the existing alley to the west of the project site.
9. Dedication of 1.5 feet of right-of-way is shown on the plans.
10. The topography of the project site is primarily flat.
11. The soils on site include approximately 18 inches of dark brown, medium-dense silty sand topsoil. Underlying the topsoil is a light brown to brown, dense, silty sand, which is underlain by silty sand of alternating colors from gray-brown, reddish-brown, and light brown.

- 12. The applicant estimates that less than 100 cubic yards of excavation and grading would occur for the construction of the proposed duplex units.
- 13. There is 1 significant tree located on site, which is proposed for removal.
- 14. No agency or public comments were received during the 14-day public comment period.
- 15. A building permit for the proposed structures was applied for on December 23, 2013 and has been granted a 1 year extension by the Building Official. As the applicant has a valid building permit application in review, the proposed structures are vested to the regulated in effect on December 23, 2013.
- 16. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments have been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
- 17. The proposal requires Site Plan Review. The following table contains project elements intended to comply with Site Plan Review decision criteria, as outlined in RMC 4-9-200.E:

<b>SITE PLAN REVIEW CRITERIA:</b>	
<b>a. COMPREHENSIVE PLAN COMPLIANCE AND CONSISTENCY:</b>	
The site is designated Center Village (CV) on the Comprehensive Plan Land Use Map. The purpose of the Center Village is to provide an opportunity for redevelopment of urban mixed and residential uses that are pedestrian-oriented. <b>The proposal is consistent with the following Comprehensive Plan Land Use and Community Design Element policies as long as all conditions of approval are complied with:</b>	
✓	<b>Policy LU-244.</b> Encourage more urban style design and intensity of development (e.g. building height, bulk, landscaping, parking) within Center Villages than with land uses outside the Centers.
✓	<b>Policy LU-247.</b> Prohibit new garden style multi-family development.
✓	<b>Policy CD-17:</b> Development should be designed (e.g. building orientation, setbacks, landscape areas and open space, parking, and outdoor activity areas) to result in a high quality development as a primary goal, rather than to maximize density as a first consideration.
✓	<b>Policy CD-21:</b> Development should have buildings oriented toward the street or a common area rather than toward parking lots.
<b>b. ZONING COMPLIANCE AND CONSISTENCY:</b>	
The subject site is classified <b>Residential 14 Dwelling Units per Acre (R-14)</b> on the City of Renton Zoning Map. Attached residential dwelling units are a permitted use in the R-14 zone. The following development standards are applicable to the proposal:	
<i><b>Density:</b> Per RMC 4-2-110A the allowed density range in the R-14 zoning classification is a minimum of 7 dwelling units per net acre (du/ac) up to a maximum of 14 du/ac. Per RMC 4-9-065 up to maximum of 4 additional dwelling units per net acre are allowed as a density bonus if the following criteria is met:</i>	
<ol style="list-style-type: none"> <li>1. <i>To qualify for the density bonus, the applicant shall provide either:</i> <ol style="list-style-type: none"> <li>(i) <i>Alley and/or rear access and parking for 50% of detached or townhouse units, or</i></li> <li>(ii) <i>Civic uses such as a community meeting hall, senior center, recreation center, or other similar uses as determined by the Administrator, or</i></li> </ol> </li> </ol>	

*(iii) A minimum of 2 units of affordable housing per net developable acre (fractional results shall be rounded up to the next whole number) to qualify for a density bonus.*

*In addition, in order to qualify for a bonus, developments shall also incorporate at least 1 of the features described below:*

*(i) Active common recreation amenities such as sports courts, recreation center, pool, spa/jacuzzi.*

*(ii) Surface parking lots containing not more than 6 parking stalls separated from other parking areas by landscaping with a minimum width of 15 feet.*

*Net density is calculated after public rights-of-way, private access easements, and critical areas are deducted from the gross acreage of the site.*

After deducting 120 square feet for right-of-way dedications, from the 11,171 gross square footage of the site, the net square footage would be 11,051 square feet (0.254 net acres). The 4 unit proposal would arrive at a net density of 15.77 dwelling units per acre (4 units / 0.254 acres = 15.77 du/ac), which falls within the permitted density range for the R-14 zoning designation provided the proposal complies with the Density Bonus criteria and is eligible for the four additional dwelling units per net acre or 18 du/ac.

To qualify for the Density Bonus, the applicant has proposed alley access to the proposed units and a gazebo, deep seating set, fire pit, and 4 raised vegetable beds. A letter was sent to the applicant from the Community and Economic Development Administrator, dated August 15, 2014 (Exhibit 8), which stated that the City would accept the following components: a pea patch with raised beds and a spa with a gazebo as sufficient to meet the Density Bonus Review requirements for "Active common recreation amenities". The proposal does not include the spa specified in the Administrator's August 15<sup>th</sup> letter. Therefore staff recommends, as a condition of approval, that the landscape plans be revised to include a pea patch with raised beds and a spa with a gazebo. The revised landscape plans be submitted at the time of building permit review for review and approval by the Current Planning Project Manager.

**Lot Dimensions:** *Per RMC 4-2-110A there is no minimum lot size requirements. The minimum lot width required is 30 feet and the minimum lot depth required is 60 feet.*

Not applicable as no subdivision is proposed.

**Setbacks:** *Per RMC 4-2-110A the R-14 zoning classification requires a minimum front yard setback of 15 feet, except garage must be 20 feet, rear yard setback of 10 feet, 15 feet for side yard setbacks along a street, and a 4-foot setback for an interior side yard setback. Garages/carports with 16-foot door, accessed through alleys are required to maintain a 24-foot setback from the back edge of the alley. No interior side yard setbacks are required for detached accessory structures, provided the structures are located between the main house and rear property line. Porches and stoops may project up to 8 feet into front setbacks.*

The following table contains setbacks for the proposed structures at the closest point:

Bldg	Front Yard Setback	Side Yard Setback	Side Yard Along-a-Street Setback	Rear Yard Setback
Duplex 1	15 feet for the main residence, 10 feet for the porch	4 feet	N/A	76 feet

Duplex 2	15 feet for the main residence, 10 feet for the porch	4 feet	N/A	76 feet
Garage 1	N/A	12 feet	N/A	5 feet (see Exhibit 8)
Garage 2	N/A	10 feet	N/A	5 feet (see Exhibit 8)

As proposed, all structures would comply with the required setbacks for the R-14 zone.

**Building Height:** Per RMC 4-2-110A building height is restricted to 30 feet for primary structures and 15 feet for accessory structures.

The proposed duplex structures would be 28 feet and 8 inches from existing grade to tallest point of the pitched roof. The proposed detached garages would be 13 feet 8 inches from existing grade to the tallest point of the roof. The proposal complies with the height requirements of the zone.

**Building Standards:** Per RMC 4-2-110A the allowed lot coverage is 65 percent and impervious cover is limited to 80 percent.

The proposed buildings would have a total footprint of 3,460 square feet on the 11,051 square foot project site resulting in a building lot coverage of approximately 31.3 percent. Following development, impervious surface coverage will be approximately 35.3 percent. This proposal would comply with the lot coverage and impervious surface coverage requirements of the R-14 zone.

**Landscaping:** Per RMC 4-4-070 ten feet of on-site landscaping is required along all public street frontages, with the exception of areas for required walkways and driveways or those projects with reduced setbacks. Such landscaping shall include a mixture of trees, shrubs, and groundcover as approved by the Department of Community and Economic Development.

A conceptual landscape plan was submitted with the project application (Exhibit 4). The applicant is proposing a 10-foot onsite landscape strip along the site's Jefferson Ave NE frontage. The landscaping proposed consists of two Fuji apple trees, one Purple plum tree, and lawn area. There are some additional plantings proposed outside of the 10-foot onsite landscape strip adjacent to the proposed duplexes. To comply with the City's landscaping regulations, additional shrub plantings are required within the 10-foot onsite landscape strip. Staff recommends, as a condition of approval, that a detailed landscape plan be submitted at the time of building permit review including trees, shrubs and groundcover within the 10-foot onsite landscape strip. The detailed landscape plan shall be approved by the Current Planning Project Manager.

In addition, on the plant materials schedule on sheet L-1 of the landscape plan (Exhibit 4) lists a square as the symbol for Blue Oat Grass as well as concrete pavers. Staff was unable to determine the distinction between the symbols on the planting plan. Staff recommends, as a condition of approval, that different symbols be used to distinguish Blue Oat Grass from the concrete pavers on the planting plan.

**Refuse and Recyclables:** Single family and two (2) attached residences (duplexes) shall be exempt from these requirements for refuse and recyclables deposit areas.

The applicant shall be required to coordinate with Waste Management for refuse and recyclables pick up.

**Critical Areas:** The site is located within an Aquifer Protection Area 2. A fill source statement would

be required for any fill brought onto the project site.

**Parking:** The parking regulations require a specific number of off-street parking stalls be provided based on the amount of square footage dedicated to certain uses. The following ratios would be applicable to the site:

<u>Use</u>	<u>Number of Units</u>	<u>Ratio</u>	<u>Required Spaces</u>
Attached Dwellings in the R-14 Zone	4	Min/Max: 1.6 spaces / 3 bedroom or larger dwelling unit	Min/Max: 6.4

Based on these use requirements, a minimum and a maximum of 6 parking spaces would be required to meet code. The applicant proposed to provide a total of 6 spaces which would comply with the number of parking spaces required. Four (4) spaces would be within two (2) car garage structures and another two spaces are proposed as surface spaces between the detached garages.

Per RMC 4-4-080G, all off-street parking areas shall be paved with asphaltic concrete, cement or equivalent material of a permanent nature as approved by the Public Works Department. According to the submitted Grading, Site Improvement and Drainage Plan (Exhibit 3) the 24-foot wide driveway access to the surface parking spaces and the surface spaces would be gravel. Staff recommends, as a condition of approval, that the Grading, Site Improvement, and Drainage Plan be revised to provide asphaltic concrete, cement or equivalent material of a permanent nature for the driveway and parking surfaces. The revised Grading, Site Improvement, and Drainage Plan shall be submitted to the Plan Reviewer for review and approval at the time of Building Permit Review.

The minimum parking stall dimensions for standard stalls (either surface or within a private garage) is 9 feet in width by 20 feet in length. The minimum parking stall dimensions for compact stalls (either surface or within a private garage) is 8 ½ feet in width and 16 feet in length. Compact spaces shall not account for more than 50 percent of structured parking and not more than 30 percent of surface spaces. The parking dimensions proposed within the private garages is 9 feet 4 inches by 18 feet 1 inch and the proposed surface stall dimensions are 12 feet by 20 feet. The stall dimensions for the parking spaces within the garages would comply with the compact space dimensions. The surface parking spaces would comply with the minimum dimensions required for surface parking spaces. A maximum of two (2) of the spaces within the garage units may be utilized as compact spaces, therefore two (2) of the spaces within the garage units would need to comply with the standard 9-foot by 20-foot dimensions required for standard parking spaces. Staff recommends, as a condition of approval, that the garage plans be revised to provide a minimum of two (2) parking spaces meeting the standard 9-foot by 20-foot dimensional requirements. The revised garage plans shall be submitted to the Current Planning Project Manager at the time of Building Permit Review for review and approval.

**c. RESIDENTIAL DESIGN AND OPEN SPACE STANDARDS:** *The Residential Design and Open Space Standards are conceived to implement policies established in the Land Use and Community Design Elements of the Renton Comprehensive Plan, enhance quality of life by encouraging new residential development to produce beautiful neighborhoods of well designed homes, and to mitigate the impacts of density for the neighborhood and the surrounding community. As demonstrated in the table below the proposal meets the intent of the Design Standards on the basis of individual merit if all conditions of approval are met.*

**i. SITE DESIGN:**

**Purpose:** *Quality neighborhoods are characterized by well landscaped, safe, pedestrian oriented streets fronted by a variety of housing types. These qualities are enhanced by lots in a variety of sizes and widths and by homes which vary in scale and massing, each with a prominent entry and generous fenestration*

facing the street. Garages, while a necessity to today's lifestyles, should not visually dominate the streetscape.

**1. LOT CONFIGURATION: Variety in the configuration of lots enhances the image of variety of housing stock and helps minimize perceptions of monotony.**

**Guidelines:** Developments shall create pedestrian oriented environments and amplify the mutual relationship between housing units, roads, open space, and pedestrian amenities, while also protecting the privacy of individuals. Lots shall be configured to encourage variety within the development.

N/A	<p><b>Standard:</b> Developments of more than four (4) structures shall incorporate a variety of home sizes, lot sizes, and unit clusters.</p> <p>Dwellings shall be arranged to ensure privacy so that side yards abut other side yards (or rights-of-way) and do not abut front or back yards.</p> <p>Lots accessed by easements or pipestems shall be prohibited.</p>
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**2. GARAGES: The minimization of the visual impact of garages contributes to creating communities that are oriented to people and pedestrians, as opposed to automobiles.**

**Guidelines:** The visual impact of garages shall be minimized, while porches and front doors shall be the emphasis of the front of the home. Garages shall be located in a manner that minimizes the presence of the garage and shall not be located at the end of view corridors. Alley access is encouraged. If used, shared garages shall be within an acceptable walking distance to the housing unit it is intended to serve.

✓	<p><b>Standard:</b></p> <p>Garages may be attached or detached. Shared garages are also allowed, provided the regulations of RMC 4-4-080 are met. Carports are not allowed.</p> <p>One of the following is required; the garage must be:</p> <ol style="list-style-type: none"> <li>1. Recessed from the front of the house and/or front porch at least eight feet (8'), or</li> <li>2. Detached and set back from the front of the house and/or porch at least six feet (6').</li> </ol> <p>Additionally, all of the following is required:</p> <ol style="list-style-type: none"> <li>1. Garage design shall be of similar design to the homes, and</li> <li>2. If sides of the garage are visible from streets, sidewalks, pathways, trails, or other homes, architectural details shall be incorporated in the design.</li> </ol> <p>If shared garages are allowed, they may share the structure with other homes and all of the following is required:</p> <ol style="list-style-type: none"> <li>1. Each unit has garage space assigned to it, and</li> <li>2. The garage is not to be located further than one hundred sixty feet (160') from any of the housing units to which it is assigned, and</li> <li>3. The garage shall not exceed forty four feet (44') in width, and shall maintain an eight foot (8') separation from any dwellings.</li> </ol> <p><b>Staff Comment:</b> Information was not included in the site plan review materials regarding the assignment of parking stalls. Staff recommends, as a condition of approval, that the applicant submit a revised site plan at the time of Building Permit review assigning parking spaces to the proposed duplex units. The revised site plan shall be reviewed and approved by the Current Planning Project Manager prior to issuance of the Building Permit.</p>
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**ii. Open Space:**

**Purpose:** In order to provide residents with a livable community, private and public open space shall be

*provided. Public open spaces shall be located so that a hierarchy and/or variety of open spaces throughout the neighborhood is created.*

**1. OPEN SPACE: Open space is a significant element in the development of livable communities and creates opportunities for good health.**

**Guidelines:** *All open space shall be designed to preserve existing trees. Except for Native Growth Protection Areas, all common open space areas shall be designed to accommodate both active and passive recreational opportunities and be visible and open to the street. Pocket parks shall be designed to serve four (4) to ten (10) homes. Private yards are located at the rear or side of homes and can include trees, planting beds, and privacy fences. Reciprocal use easements can provide greater usability of private yards.*

<b>N/A</b>	<b>Standard:</b> <i>For developments that are less than ten (10) net acres no park is required, but is allowed.</i>
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✓	<b>Standard:</b> <i>Developments of four (4) or more units are required to provide common open space as follows:</i>
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- 1. For each unit in the development, three hundred fifty (350) square feet of common open space shall be provided.*
- 2. Open space shall be designed as a park, common green, pea-patch, pocket park, or pedestrian entry easement in the development and shall include picnic areas, space for small recreational activities, and other activities as appropriate.*
- 3. Open space shall be located in a highly visible area and be easily accessible to the neighborhood.*
- 4. Open space(s) shall be contiguous to the majority of the dwellings in the development and accessible to all dwellings, and shall be at least twenty feet (20') wide.*
- 5. A pedestrian entry easement can be used to meet the access requirements if it has a minimum width of twenty feet (20') with a minimum five feet (5') of sidewalk.*
- 6. Pea-patches shall be at least one thousand (1,000) square feet in size with individual plots that measure at least ten feet by ten feet (10' x 10'). Additionally, the pea-patch shall include a tool shed and a common area with space for compost bins. Water shall be provided to the pea-patch. Fencing that meets the standards for front yard fencing shall surround the pea-patch with a one foot (1') landscape area on the outside of the fence. This area is to be landscaped with flowers, plants, and/or shrubs.*
- 7. Grass-crete or other pervious surfaces may be used in the common open space for the purpose of meeting the one hundred fifty feet (150') distance requirement for emergency vehicle access but shall not be used for personal vehicle access or to meet off-street parking requirements.*
- 8. Storm ponds may be used to meet the common open space requirement if designed to accommodate a fifty (50) year storm and to be dry ninety percent (90%) of the year.*

**Staff Comment:** *The applicant submitted a Landscape Plan (Exhibit 4) with the land use application materials. According to the submitted Landscape Plan (Exhibit 4), a total of 1,400 square feet of open space is required (350 sq. ft. x 4 units = 1,400 sq. ft.). The proposal includes a total of 3,078 square feet of shared open space and includes picnic benches and a*

	<p>BBQ grill as well as lawn area. The proposed common open space is proposed to be vegetated with two Chinese Pear trees, Arborvitae, Variegated Abelia, and lawn. Details regarding the amenities proposed were on the Planting Details &amp; Notes (sheet L-3) of the Landscape Plan (Exhibit 4), a note was included on the sheet, which states "Owner reserves the right of select alternative manufacturers, materials and products". Staff recommends, as a condition of approval, that this note be amended as follows: Owner reserves the right of select alternative manufacturers, materials and products of equivalent or better quality, subject to City approval.</p> <p>Per the letter from Chip Vincent to Andrew Wang, dated August 15, 2014 (Exhibit 8), a pea patch may count towards the Density Bonus Criteria for Active Recreation Amenities. As discussed above additional amenities are proposed to address the Open Space requirement for "small recreational activities". Therefore, the pea patch proposed to satisfy the Active Recreation Amenity component of the Density Bonus regulations would not be required to comply with the pea patch standards above.</p>
✓	<p><b>Standard:</b> Each ground-related dwelling shall have a private yard that is at least two hundred fifty (250) square feet in size with no dimension less than eight feet (8') in width. An additional two hundred fifty (250) square feet of open space per unit shall be added to the required amount of common open space for each unit that is not ground related.</p>
Partially Compliant	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Sidewalks shall be provided throughout the neighborhood. The sidewalk may disconnect from the road, provided it continues in a logical route throughout the development.</li> <li>2. Front yards shall have entry walks that are a minimum width of three feet (3') and a maximum width of four feet (4').</li> <li>3. Pathways shall be used to connect common parks, green areas, and pocket parks to residential access streets, limited residential access streets, or other pedestrian connections. They may be used to provide access to homes and common open space. They shall be a minimum three feet (3') in width and made of paved asphalt, concrete, or porous material such as: porous paving stones, crushed gravel with soil stabilizers, or paving blocks with planted joints. Sidewalks or pathways for parks and green spaces shall be located at the edge of the common space to allow a larger usable green and easy access to homes.</li> <li>4. Pedestrian Easement Plantings: Shall be planted with plants and trees. Trees are required along all pedestrian easements to provide shade and spaced twenty feet (20') on center. Shrubs shall be planted in at least fifteen percent (15%) of the easement and shall be spaced no further than thirty six inches (36") on center.</li> <li>5. For all homes that do not front on a residential access street, limited residential access street, a park, or a common green: Pedestrian entry easements that are at least fifteen feet (15') wide plus a five-foot (5') sidewalk shall be provided.</li> </ol> <p><b>Staff Comment:</b> A woodchip pathway is identified on the Landscape Plan (Exhibit 4) between the proposed duplex units. The materials permitted for pedestrian walkways are paved asphalt, concrete, paving stones, crushed gravel with soil stabilizers, or paving blocks with planted joints. Staff recommends, as a condition of approval, that a detailed landscape plan be submitted at the time of building permit review which includes permitted materials per the Residential Design and Open Space Standards for the pedestrian walkway proposed</p>

	<p>between the duplex units. The detailed landscape plan shall be submitted for review and approval by the Current Planning Project Manager.</p>
<p><b>iii. Residential Design:</b></p> <p><i>Purpose: Key characteristics of attractive neighborhoods include variety of housing architectural styles, enhanced by attention to selection of exterior materials, colors, and architectural detailing.</i></p>	
<p><b>1. PRIMARY ENTRY: Homes with a visually prominent front entry foster the sense that the community is oriented to pedestrians. Features like porches and stoops at the front entry provide opportunity for social interaction and can contribute to a sense of place for residents. Additionally, porches work to minimize the appearance of bulk by breaking up the facade.</b></p> <p><i>Guidelines: Entrances to homes shall be a focal point and allow space for social interaction. Front doors shall face the street and be on the facade closest to the street. When a home is located on a corner lot (i.e., at the intersection of two roads or the intersection of a road and a common space) a feature like a wrapped porch shall be used to reduce the perceived scale of the house and engage the street or open space on both sides.</i></p>	
<p>✓</p>	<p><b>Standard:</b> Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. The entry shall take access from and face a street, park, common green, pocket park, pedestrian easement, or open space, and</li> <li>2. The entry shall include one of the following:                     <ol style="list-style-type: none"> <li>a. Stoop: minimum size four feet by six feet (4' x 6') and minimum height twelve inches (12") above grade, or</li> <li>b. Porch: minimum five feet (5') deep and minimum height twelve inches (12") above grade.</li> </ol> </li> </ol> <p><i>Exception: in cases where accessibility (ADA) is a priority, an accessible route may be taken from a front driveway.</i></p>
<p><b>2. FACADE MODULATION: The modulation of facades creates an appearance of variety, as well as visual breaks that help to create visual interest.</b></p> <p><i>Guidelines: Buildings shall not have monotonous facades along public areas. Dwellings shall include articulation along public frontages; the articulation may include the connection of an open porch to the building, a dormer facing the street, or a well-defined entry element.</i></p>	
<p>✓</p>	<p><b>Standard:</b> Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. The primary building elevation oriented toward the street or common green shall have at least one articulation or change in plane of at least two feet (2') in depth; and</li> <li>2. A minimum one side articulation that measures at least one foot (1') in depth shall occur for all facades facing streets or public spaces.</li> </ol>
<p><b>3. WINDOWS AND DOORS: Windows and front doors are an integral part of the architectural character of a home and when they incorporate architectural elements of the home, they contribute to the overall balance and integration of the building form. Additionally, when they represent a significant amount of the facade of a home, they amplify the sense that the community is oriented to people.</b></p> <p><i>Guidelines: Windows and front doors shall serve as an integral part of the character of the home. Primary</i></p>	

windows shall be proportioned vertically rather than horizontally. Vertical windows may be combined together to create a larger window area. Front doors shall be a focal point of the dwelling and be in scale with the home. All doors shall be of the same character as the home.

✓	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Primary windows shall be proportioned vertically, rather than horizontally, and</li> <li>2. Vertical windows may be combined together to create a larger window area, and</li> <li>3. All doors shall be made of wood, fiberglass, metal, or glass and trimmed with three and one-half inches (3 1/2") minimum head and jamb trim around the door, and</li> <li>4. Screen doors are permitted, and</li> <li>5. Primary entry doors shall face a street, park, common green, pocket park, or pedestrian easement and shall be paneled or have inset windows, and</li> <li>6. Sliding glass doors are not permitted along a frontage elevation or an elevation facing a pedestrian easement.</li> </ol>
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**4. SCALE, BULK, AND CHARACTER:** Residential communities are intended for people and homes that have appropriate scale and bulk contribute to the sense of orientation to people. Variety in the character of homes helps to minimize visual monotony while helping to foster a perception of uniqueness of place.

**Guidelines:** A diverse streetscape shall be provided by using elevations and models that demonstrate a variety of floor plans, home sizes, and character. Neighborhoods shall have a variety of home sizes and character.

Partially Compliant	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. The primary building form shall be the dominating form and elements such as porches, principal dormers, or other significant features shall not dominate, and</li> <li>2. Primary porch plate heights shall be one story. Stacked porches are allowed, and</li> <li>3. To differentiate the same models and elevations, different colors shall be used, and</li> <li>4. For single family dwellings, no more than two (2) of the same model and elevation shall be built on the same block frontage and the same model and elevation shall not be abutting.</li> </ol> <p><b>Staff Comment:</b> Staff could not determine compliance with item 3. above, because information regarding paint colors of the proposed structures was not included with the site plan review application materials. Staff recommends, as a condition of approval, that proposed paint colors be submitted at the time of building permit review, demonstrating compliance with the color requirements of the Residential Design Standards. Colors of the proposed structures are subject to the review and approval of the Current Planning Project Manager.</p>
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**5. ROOFS:** Roof forms and profiles are an important component in the architectural character of homes and contribute to the massing, scale, and proportion of the home. Roofs also provide opportunity to create variety, especially for homes of the same model.

**Guidelines:** Roofs shall represent a variety of forms and profiles that add character and relief to the landscape of the neighborhood. The use of bright colors, as well as roofing that is made of material like gravel and/or a reflective material, is discouraged.

✓	<p><b>Standard:</b> Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. Primary roof pitch shall be a minimum six to twelve (6:12). If a gable roof is used, exit access from a third floor must face a public right-of-way for emergency access, and</li> <li>2. A variety of roofing colors shall be used within the development and all roof material shall be fire retardant.</li> </ol>
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**6. EAVES:** The design of eaves and overhangs act as unifying elements in the architectural character of a home. When sized adequately and used consistently, they work to create desirable shadows that help to create visual interest especially from blank, unbroken wall planes.

**Guidelines:** Eaves should be detailed and proportioned to complement the architectural style of the home.

Partially Compliant	<p><b>Standard:</b> The following is required: Eaves shall be at least twelve inches (12") with horizontal fascia or fascia gutter at least five inches (5") deep on the face of all eaves.</p> <p><b>Staff Comment:</b> Based on the elevations submitted, it appears that some eaves are less than 12 inches and some eaves are missing the 5-inch minimum fascia. Staff recommends, as a condition of approval, that revised building elevations be submitted at the time of building permit review. The revised elevations shall show the minimum 12-inch eaves and 5-inch minimum fascia required. The revised building elevations shall be submitted for review and approval by the Current Planning Project Manager.</p>
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**7. ARCHITECTURAL DETAILING:** Architectural detailing contributes to the visual appeal of a home and the community. It helps to create a desirable human scale and a perception of a quality, well-designed home.

**Guidelines:** Architectural detail shall be provided that is appropriate to the architectural character of the home. Detailing like trim, columns, and/or corner boards shall reflect the architectural character of the house.

Partially Compliant	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Three and one-half inches (3 1/2") minimum trim surrounds all windows and details all doors, and</li> <li>2. At least one of the following architectural details shall be provided on each home: shutters, knee braces, flower boxes, or columns, and</li> <li>3. Where siding is used, metal corner clips or corner boards shall be used and shall be at minimum two and one-half inches (2 1/2") in width and painted. If shutters are used, they shall be proportioned to the window size to simulate the ability to cover them, and</li> <li>4. If columns are used, they shall be round, fluted, or strongly related to the home's architectural style. Six inches by six inches (6" x 6") posts may be allowed if chamfered and/or banded. Exposed four inches by four inches (4" x 4") and six inches by six inches (6" x 6") posts are prohibited.</li> </ol> <p><b>Staff Comment:</b> According to the submitted building elevations, the trim around the smaller windows located on the north and south elevations would not comply with the</p>
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	<p>minimum 3 ½ inch minimum requirement. Staff recommends, as a condition of approval, that revised building elevations be submitted at the time of building permit review. The revised elevations shall include minimum 3 ½ inch trim around all windows and doors. The revised elevations shall be submitted to the Current Planning Manager for review and approval.</p>
<p><b>8. MATERIALS AND COLOR: The use of a variety of materials and color contributes to the sense of diversity of housing stock in the community.</b>  <b>Guidelines:</b> A diversity of materials and color shall be used on homes throughout the community. A variety of materials that are appropriate to the architectural character of the neighborhood shall be used. A diverse palette of colors shall be used to reduce monotony of color or tone.</p>	
<p><b>Partially Compliant</b></p>	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Acceptable exterior wall materials are: wood, cement fiberboard, stucco, stone, and standard sized brick three and one-half inches by seven and one-half inches (3 1/2" x 7 1/2") or three and five eighths inches by seven and five-eighths inches (3 5/8" x 7 5/8"). Simulated stone, wood, stone, or brick may be used to detail homes, and</li> <li>2. When more than one material is used, changes in a vertical wall, such as from wood to brick, shall wrap the corners no less than twenty-four inches (24"). The material change shall occur at an internal corner or a logical transition such as aligning with a window edge or chimney. Material transition shall not occur at an exterior corner, and</li> <li>3. Multiple colors on buildings shall be provided. Muted deeper tones, as opposed to vibrant primary colors, shall be the dominant colors. Color palettes for all new structures, coded to the home elevations, shall be submitted for approval.</li> <li>4. Gutters and downspouts shall be integrated into the color scheme of the home and be painted, or of an integral color, to match the trim color.</li> </ol> <p><b>Staff Comment:</b> No information regarding colors or exterior wall materials was submitted with the site plan review materials. Staff previously recommended, as a project condition, that information regarding colors be provided at building permit review. Staff further recommends, as a condition of approval, that proposed exterior wall materials be submitted at the time of building permit review, demonstrating compliance with the requirements of the Residential Design Standards. Exterior wall materials of the proposed structures are subject to the review and approval of the Current Planning Project Manager.</p>
<p><b>9. MAIL AND NEWSPAPERS:</b>  <b>Guidelines:</b> Mailboxes shall be located so that they are easily accessible to residents. They shall also be architecturally compatible with the homes.</p>	
<p><b>Partially Compliant</b></p>	<p><b>Standard:</b> All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Mailboxes shall be clustered and located so as to serve the needs of USPS while not adversely affecting the privacy of residents;</li> <li>2. Mailboxes shall be lockable consistent with USPS standard;</li> <li>3. Mailboxes shall be architecturally enhanced with materials and details typical of the home's architecture; and</li> </ol>

	<p>4. Newspaper boxes shall be of a design that reflects the character of the home.</p> <p><b>Staff Comment:</b> Information regarding the location and design of mailboxes and newspaper boxes was not included with the site plan review materials. Staff recommends, as a condition of approval, that mailbox and newspaper box location and design be submitted at the time of building permit review, for review and approval by the Current Planning Project Manager and shall meet USPS standards.</p>
<p><b>10. HOT TUBS, POOLS, AND MECHANICAL EQUIPMENT:</b>  <b>Guidelines:</b> Hot tubs, pools, and mechanical equipment shall be placed so as to not negatively impact neighbors.</p>	
<p><b>Not Compliant</b></p>	<p><b>Standard:</b> Hot tubs and pools shall only be located in back yards and designed to minimize sight and sound impacts to adjoining property. Pool heaters and pumps shall be screened from view and sound insulated. Pool equipment must comply with codes regarding fencing.</p> <p><b>Staff Comment:</b> Based on the letter from Chip Vincent to Andrew Wang dated 8/15/2014 (Exhibit 8), staff has recommended conditions to be added to the project, which require the applicant to provide a spa. A spa would also be considered a hot tub and would therefore be required to comply with this section of code. No information was provided related to the spa, as such, staff recommends, as a condition of approval, that the applicant demonstrate compliance with the hot tub regulations at the time of Building Permit Review. Conformance with the hot tub regulations would be reviewed and approved by the Current Planning Project Manager prior to the issuance of a building permit.</p>
<p><b>11. UTILITIES</b></p>	
<p>✓</p>	<p><b>Standard:</b> Utility boxes that are not located in alleyways or away from public gathering spaces shall be screened with landscaping or berms.</p>
<p><b>12. DUMPSTER/TRASH/RECYCLING COLLECTION AREA</b></p>	
<p>✓</p>	<p><b>Standard:</b> Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. Trash and recycling containers shall be located so that they have minimal impact on residents and their neighbors and so that they are not visible to the general public; and</li> <li>2. A screened enclosure in which to keep containers shall be provided or garages shall be built with adequate space to keep containers. Screened enclosures shall not be located within front yards.</li> </ol> <p><b>Staff Comment:</b> The location of trash, recycling, and yard waste enclosures were not included with the site plan review materials. Therefore staff recommends, as a condition of approval, that a revised site plan be submitted at the time of Building Permit Review including the locations of the trash, recycling, and yard waste enclosures and demonstrating compliance with the screening requirements. The revised site plan shall be reviewed and approved by the Current Planning Project Manager prior to the issuance of a building permit.</p>
<p><b>d. PLANNED ACTION ORDINANCE AND DEVELOPMENT AGREEMENT COMPLIANCE AND CONSISTENCY:</b> Not applicable.</p>	
<p><b>e. OFF SITE IMPACTS:</b></p>	
<p><b>Structures:</b> Restricting overscale structures and overconcentration of development on a particular portion of the site.</p> <p>The proposed structures are not overscale and provide for adequate setback areas as well as</p>	

common open space areas and private yard areas for each unit. The proposed duplexes would be located on the eastern portion of the site fronting on Jefferson Ave NE with detached garage units on the western portion of the site fronting on the alley. Therefore, development is not concentrated on a particular portion of the site.

**Circulation:** *Providing desirable transitions and linkages between uses, streets, walkways and adjacent properties.*

The project proposal includes a pedestrian pathway between the duplexes to the open space provided within the rear yard, in addition pedestrian walkways are proposed connecting the front of the duplexes to the sidewalk to be constructed on Jefferson Ave NE. There is no walkway proposed connecting the garages to the duplexes. Staff recommends, as a condition of approval, that a detailed landscape plan be submitted at the time of Building Permit Review including a pedestrian connection between the detached garages and duplexes. The detailed landscape plan shall be reviewed and approved by the Current Planning Project Manager prior to the issuance of a building permit.

Frontage improvements are required to be constructed in the right-of-way fronting the site. Street lighting is also required to be installed along the frontage of the site. The applicant is required to demonstrate compliance with the street and lighting standards outlined in the Renton Municipal Code at the time of Building Permit application. Access to the site would be provided via the existing alley along the western property line.

The proposed development is expected to maintain safe and efficient pedestrian and vehicle circulation on the site.

**Loading and Storage Areas:** *Locating, designing and screening storage areas, utilities, rooftop equipment, loading areas, and refuse and recyclables to minimize views from surrounding properties.*

Staff had previously recommended, as a condition of approval, that the location of refuse, recyclable, and yard waste areas be shown on the site plan. Compliance with this requirement will be verified at the time of building permit review.

**Views:** *Recognizing the public benefit and desirability of maintaining visual accessibility to attractive natural features.*

The proposed duplexes would have heights of 28 feet 8 inches, which complies with the height limits of the R-14 zone (see previous discussion under Finding 17b above). It is not anticipated that the propose duplexes would block any existing view corridors for existing structures in the project vicinity.

**Landscaping:** *Using landscaping to provide transitions between development and surrounding properties to reduce noise and glare, maintain privacy, and generally enhance the appearance of the project.*

A conceptual landscape plan was submitted with the project application (Exhibit 4). The proposed landscaping would provide visual relief, define areas of pedestrian circulation, and add to the aesthetic enjoyment of the area.

**Lighting:** *Designing and/or placing exterior lighting and glazing in order to avoid excessive brightness or glare to adjacent properties and streets*

The proposed development would include 2 duplexes and does not include a surface parking lot and is similar in scale to a single family residential development. Due to the small scale of the development it is not anticipated that exterior lighting, resulting in excessive glare would be incorporated into the design of the site.

**f. ON-SITE IMPACTS:**

**Structure Placement:** *Provisions for privacy and noise reduction by building placement, spacing and orientation.*

The project is located in an area of residential uses. All the surrounding parcels are zoned R-14.

The duplexes and detached garages will meet all required setbacks from property lines. Each individual duplex unit is oriented to front on Jefferson Ave NE with common open space and private yard areas proposed within the rear yard of the proposed units.

The proposed duplexes and detached garages would be compatible with existing and future development in the surrounding neighborhood as permitted in the R-14 zone.

**Structure Scale:** *Consideration of the scale of proposed structures in relation to natural characteristics, views and vistas, site amenities, sunlight, prevailing winds, and pedestrian and vehicle needs.*

The scale, height and bulk of the proposed buildings are appropriate for the site and are comparable with other existing single family and duplex structures in the surrounding R-14 zone.

The primary entrances for each duplex unit would be located along the façade fronting on Jefferson Ave NE. Each unit has a private entrance separated by landscaped front yards with a pedestrian walkway connecting to the sidewalk on Jefferson Ave NE. Vehicular access would be provided via the alley to the detached garages on the rear portion of the property.

The proposed structure would not have a significant impact on light access or air movement on adjacent properties. The use of the project is not influenced by factors of light or air. The design of the structures would not result in excessive shading of the property. In addition, there is ample area surrounding the building to provide normal airflow. There are no views from the subject site.

**Natural Features:** *Protection of the natural landscape by retaining existing vegetation and soils, using topography to reduce undue cutting and filling, and limiting impervious surfaces.*

The site contains 1 tree. All existing vegetation is proposed to be removed to accommodate the development of the proposed duplexes, detached garages, and associated landscaping and open space amenities. The City's Tree Retention Regulations (RMC 4-4-130) require the retention of 20 percent of significant trees in the R-14 zone. If the number of trees to be retained results in a fraction of a tree, any amount equal to or greater than ½ tree shall be rounded up. As the project site contains one existing tree the tree retention requirements would require the retention of 0.20 trees which is rounded down to 0 trees, therefore no trees are required to be retained on the project site.

Topographically, the site is primarily flat with an elevation change of approximately 5 feet across the site. The applicant anticipates less than 100 cubic yards of grading for the development of the site. A geotechnical report for the site was submitted (Exhibit 7). Information on the water table and soil permeability were included.

Following development, impervious surface coverage will be approximately 35 percent (35%).

**Landscaping:** *Use of landscaping to soften the appearance of parking areas, to provide shade and privacy where needed, to define and enhance open spaces, and generally to enhance the appearance of the project. Landscaping also includes the design and protection of planting areas so that they are less susceptible to damage from vehicles or pedestrian movements.*

A conceptual landscape plan was submitted with the project application (Exhibit 4). The proposed landscaping would provide visual relief, define areas of pedestrian circulation, define the common and private open space areas, and add to the aesthetic enjoyment of the area.

#### **g. ACCESS:**

**Location and Consolidation:** *Providing access points on side streets or frontage streets rather than*

*directly onto arterial streets and consolidation of ingress and egress points on the site and, when feasible, with adjacent properties.*

The site fronts on Jefferson Ave NE, designated as a residential access street. In addition, an alley is located along the west (rear) property line. Vehicular access to the site is proposed via the alley; parking is proposed in two detached garages and via two additional surface parking spaces. The site plan indicates gated access to the proposed surface parking spaces, with the gates opening outward over the public alley. Gates are not permitted to open outward over public property. Staff recommends, as a condition of approval, that the site plan be revised to either remove the gated access to the surface parking spaces or show the gates opening inward, onto private property, with stops to prevent the gates from swinging outward over public property. The revised site plan shall be submitted at the time of Building Permit Review for review and approval by the Current Planning Project Manager.

***Internal Circulation:*** *Promoting safety and efficiency of the internal circulation system, including the location, design and dimensions of vehicular and pedestrian access points, drives, parking, turnarounds, walkways, bikeways, and emergency access ways.*

The site development would include six (6) parking stalls (4 within garages and 2 surface spaces). Access to the proposed parking would be provided via the alley which abuts the western (rear) property line. The proposed alley access promotes separation between the vehicular access and internal and external pedestrian walkways to and around the project site. Internal pedestrian connections to the existing public sidewalk are proposed in order to provide safe and efficient pedestrian access throughout the site.

***Loading and Delivery:*** *Separating loading and delivery areas from parking and pedestrian areas.*

Not Applicable

***Transit and Bicycles:*** *Providing transit, carpools and bicycle facilities and access.*

The project is exempt from the bicycle parking requirements (RMC 4-4-080F.11) as the projects site would results in fewer than 5 residential dwelling units.

***Pedestrians:*** *Providing safe and attractive pedestrian connections between parking areas, buildings, public sidewalks and adjacent properties.*

Internal pedestrian connections to the existing public sidewalk network are proposed in order to provide safe and efficient pedestrian access throughout the site. Staff has previously recommended a condition of approval regarding the materials used for the construction of the pedestrian walkways (see previous discussion under Finding 17.c.ii.1 Open Space above).

***h. OPEN SPACE:*** *Incorporating open spaces to serve as distinctive project focal points and to provide adequate areas for passive and active recreation by the occupants/users of the site.*

The applicant is proposing private yards for each unit as well as common open space to the rear of the duplexes. The private yards are fenced with a gate opening to the common open space area and each yard would be equipped with a raised planter bed. A deep seating set with fire pit, gazebo, picnic table, and BBQ grill are proposed within the common open space area. To qualify for density bonus, staff had previously recommended as a condition of approval additional active recreation amenities (see previous discussion under Finding 17.b density above).

***i. VIEWS AND PUBLIC ACCESS:*** *When possible, providing view corridors to shorelines and Mt. Rainier, and incorporating public access to shorelines.*

The proposed structure would not block view corridors to shorelines or Mt. Rainier. The public access requirement is not applicable as the site is not adjacent to a shoreline.

**j. NATURAL SYSTEMS:** *Arranging project elements to protect existing natural systems where applicable.*

There are no natural systems located on site with the exception of drainage flows.

**k. SERVICES AND INFRASTRUCTURE:** *Making available public services and facilities to accommodate the proposed use.*

**Police and Fire:** Fire and Police Department staff has indicated that existing facilities are adequate to accommodate the subject proposal. Fire impact fee of \$495.10 per duplex unit is due at time of Building Permit issuance.

**Parks and Recreation:** A parks impacts fee of \$1,204.40 would be applicable to each new dwelling unit. The fee is paid at the time of building permit issuance.

**Drainage:** A drainage report (Exhibit 6) dated January 20, 2015 was submitted by The Land Developer's Engineered Solution A Division of The Land Developer, LLC with the site plan application. Based on the City's flow control map, this site falls within the Flow Control Duration Standard, Existing Conditions. The 0.257 acre site is generally flat and cleared, covered with grass with a few small trees remaining. The site is subject to Full Drainage Review. A revised TIR including an offsite analysis will be required with the civil plan plans at construction permit submittal. Discussion regarding the frontage improvements needs to be included. There are references to a different project on page 5 and 6 that need to be corrected. A TIR worksheet needs to be included.

A geotechnical report (Exhibit 7) dated October 4, 2013 was submitted and prepared by Bergquist Engineering Services with the site plan application. Due to the size of the site (11,325 sq. ft.), one test pit up to eighteen inches (18") deep was dug towards the rear of the site. No ground water was encountered. Soil type encountered was medium dense silty sands, sands and gravel. Soil type is native loamy sands. The soil type may support the feasibility of 100 % infiltration onsite. The civil engineer is proposing the use of dispersion as a flow control bmp in the TIR.

**Transportation:** Existing right of way width on Jefferson Ave NE fronting the site is fifty feet (50'). Jefferson Ave NE is classified as a residential access street. To meet the City's complete street standards, half street improvements including a pavement width of sixteen feet (16') from the centerline, a new vertical curb, gutter, an eight foot (8') planter strip, and five foot (5') sidewalk are required to be constructed in the right of way fronting the site per RMC 4-6-060. To build this street section one and a half feet (1 ½') of right of way will be required to be dedicated to the City. The dedication has been shown on the Grading, Site Improvement & Drainage Plans (Exhibit 3). Future street section will be a fifty three foot (53') right of way.

Paving in Jefferson is required to comply with the City of Renton's Trench Restoration and Overlay Requirements.

The current transportation impact fee rate is \$1,454.20 per unit for apartments. The transportation impact fee that is current at the time of building permit application will be levied. Payment of the transportation impact fee is due at the time of issuance of the building permit.

Vehicle access to the units will be from the thirty foot (30') wide alley located at the west end of the property. A letter dated August 15th, 2014 was sent to Mr. Wang from Chip Vincent, CED Administrator. In that letter a Fee In Lieu in the amount of \$10,000 is required to be paid prior to the issuance of the Building Permit. This amount is to cover the paving in the alley that abuts the west property boundary of the site.

**Schools:** The Renton School District has provided assurance that students living in the proposed duplex units can be accommodated at existing facilities. Students would attend Sierra Heights Elementary, McKnight Middle School and Hazen High School. Students attending Sierra Heights Elementary School and Hazen High School would be bussed to school. Students attending McKnight

Middle School would walk to school.

Students attending Sierra Heights Elementary School would walk south along the existing sidewalk on Jefferson Ave NE for 0.1 miles to the bus stop at Jefferson Ave NE and NE 13<sup>th</sup> St. Students attending McKnight Middle School would walk north on the existing sidewalk along Jefferson Ave NE and turn west and walk on the existing sidewalk along NE 16<sup>th</sup> Street to McKnight Middle School. Students attending Hazen High School would walk 0.15 miles to the bus stop at NE 16<sup>th</sup> Street and Kirkland Ave NE. To get to the bus stop, students would walk north on the existing sidewalk along Jefferson Ave NE to NE 16<sup>th</sup> Street, then head east on the existing sidewalk along NE 16<sup>th</sup> Street to the bus stop at NE 16<sup>th</sup> Street and Kirkland Ave NE.

The current Renton School impact fee rate is \$1,360.00 per unit for duplexes. Payment of the school impact fee is due at the time of issuance of the building permit.

**Water and Sewer:** All new construction must have a fire hydrant capable of delivering a minimum of 1,000 gpm and must be located within three hundred feet (300') of all structures. There is a fire hydrant in the vicinity that may be counted towards the fire protection of this project, but is subject to verification for being within three hundred feet (300') of the nearest corner of all buildings. Existing hydrant(s) counted as fire protection will be required to be retrofitted with a five inch (5") quick disconnect storz fitting if not already in place. System development fees for water are based on the size of each domestic water meter that will serve each building. Fee for three quarter inch (3/4") or one inch (1") water meter is \$2,809.00. Fee for a one and a half inch (1 1/2") meter is \$14,045.00. Fee for a three quarter inch (3/4") meter installed by the City is \$ 3,710.00. Fee for a one inch (1") meter installed by the City is \$3,770.00. Fee for a one and a half inch (1 1/2") meter installed by the City is \$5,330.00.

A separate side sewer stub shall be provided to each building. Side sewers shall be a minimum 2% slope. System development charge (SDC) for sewer is based on the size of the domestic meter(s). Sewer fees for a three quarter inch (3/4") meter or one inch (1") meter is \$2,033.00 per unit. This is payable at the time the utility construction permit is issued. All fees are subject to change.

**I. PHASING:** The applicant is not requesting any additional phasing request.

## **G. CONCLUSIONS:**

1. The proposal complies with the Site Plan Review Criteria if all conditions of approval are met.
2. The proposal is compliant and consistent with the plans, policies, regulations and approvals, if all conditions of approval are met.
3. Staff does not anticipate any adverse impacts on surrounding properties and uses as long as the conditions of approval are complied with.
4. The proposed use is anticipated to be compatible with existing and future surrounding uses as permitted in the R-14 zoning classification.
5. The scale, height and bulk of the proposed structures are appropriate for the site.
6. Safe and efficient access and circulation has been provided for all users, if all conditions of approval are met.
7. There are adequate public services and facilities to accommodate the proposed use.

8. The proposed site plan ensures safe movement for vehicles and pedestrians and has mitigated potential effects on the surrounding area if all conditions of approval are complied with.
9. The proposed development would not generate any long term harmful or unhealthy conditions. Potential noise, light and glare impacts from the proposed use have been evaluated and mitigated, if all conditions of approval are complied with.
10. Landscaping has been provided in all areas not occupied by the building or paving.
11. The proposal complies with the Density Bonus Criteria, provided all conditions of approval are complied with.

#### **H. DECISION:**

The proposed Site Plan and Density Bonus for Highland Oasis, File No. LUA14-000335, SA-A are **approved**, subject to conditions. The proposal is subject to the following conditions:

1. The landscape plans shall be revised to include a pea patch with raised beds and a spa with a gazebo or other approved active common recreation amenities as approved by the Current Planning Project Manager. The revised landscape plans shall be submitted at the time of Building Permit application for review and approval by the Current Planning Project Manager, prior to Building Permit issuance.
2. A detailed landscape plan shall be submitted at the time of Building Permit application including trees, shrubs and groundcover within the ten foot (10') onsite landscape strip. In addition, the detailed landscape plan shall include different symbols to distinguish Blue Oat Grass from the concrete pavers on the planting plan. The detailed landscape plan shall be reviewed and approved by the Current Planning Project Manager, prior to Building Permit issuance.
3. The applicant shall submit a revised site plan at the time of Building Permit application assigning parking spaces to the proposed duplex units. The revised site plan shall be reviewed and approved by the Current Planning Project Manager prior to issuance of the Building Permit.
4. The Grading, Site Improvement, and Drainage Plan shall be revised to provide asphaltic concrete, cement or equivalent material of a permanent nature for the driveway and parking surfaces. The revised Grading, Site Improvement, and Drainage Plan shall be submitted to the Plan Reviewer and the Current Planning Project Manager for review and approval prior to Building Permit issuance.
5. The garage plans shall be revised to provide a minimum of two (2) parking spaces meeting the standard 9-foot by 20-foot dimensional requirements. The revised garage plans shall be submitted to the Current Planning Project Manager at the time of Building Permit Review for review and approval prior to Building Permit issuance.
6. The note on sheet L-3 of the Landscape Plans shall be amended as follows: Owner reserves the right of select alternative manufacturers, materials and products of equivalent or better quality, subject to City approval, an updated L-3 plan sheet shall be provided to the Current Planning Project Manager prior to Building Permit issuance.
7. A detailed landscape plan shall be submitted at the time of Building Permit Review which includes permitted materials (paved asphalt, concrete, or porous material such as: porous paving stones, crushed gravel with soil stabilizers, or paving blocks with planted joints) per the Residential Design and Open Space Standards for the pedestrian walkway proposed between the duplex units in lieu of the proposed woodchip path. The detailed landscape plan shall be submitted for review and approval by the Current Planning Project Manager, prior to Building Permit issuance.

8. Information regarding proposed paint colors of the duplexes and detached garages shall be submitted at the time of building permit review, demonstrating compliance with the color requirements of the Residential Design Standards. Colors of the proposed structures are subject to the review and approval of the Current Planning Project Manager, prior to Building Permit issuance.
9. Revised building elevations shall be submitted at the time of building permit review. The revised elevations shall show the minimum 12-inch eaves and 5-inch minimum fascia required, by RMC 4-2-115F. The revised building elevations shall be submitted for review and approval by the Current Planning Project Manager, prior to Building Permit issuance.
10. Revised building elevations shall be submitted at the time of building permit review. The revised elevations shall include minimum three and a half inch (3 ½") trim around all windows and doors. The revised elevations shall be submitted to the Current Planning Manager for review and approval, prior to Building Permit issuance.
11. Information regarding proposed exterior wall materials shall be submitted at the time of Building Permit Review, demonstrating compliance with the requirements of the Residential Design Standards. Exterior wall materials of the proposed structures are subject to the review and approval of the Current Planning Project Manager, prior to Building Permit issuance.
12. Mailbox and newspaper box location and design shall be submitted at the time of Building Permit Review for review and approval by the Current Planning Project Manager, prior to Building Permit issuance. The mailbox location and design shall be approved by the USPS. Such approval shall be provided prior to Building Permit issuance.
13. The applicant shall demonstrate compliance with the hot tub regulations at the time of Building Permit Review. Conformance with the hot tub regulations would be reviewed and approved by the Current Planning Project Manager prior to the issuance of a Building Permit.
14. The site plan shall be revised to either remove the gated access to the surface parking spaces or show the gates opening inward, onto private property, with stops to prevent the gates from swinging outward over public property. The revised site plan shall be submitted at the time of Building Permit Review for review and approval by the Current Planning Project Manager, prior to Building Permit issuance.
15. A Fee In Lieu in the amount of \$10,000 is required to be paid to the City of Renton Public Works Department prior to the issuance of the Building Permit. This amount is to cover the paving in the alley that abuts the west property boundary of the site.
16. A revised site plan shall be submitted at the time of Building Permit Review including the locations of the trash, recycling, and yard waste enclosures and demonstrating compliance with the screening requirements. The revised site plan shall be reviewed and approved by the Current Planning Project Manager prior to the issuance of a Building Permit.
17. A detailed landscape plan shall be submitted at the time of Building Permit Review including a pedestrian connection between the detached garages and duplexes. The detailed landscape plan shall be reviewed and approved by the Current Planning Project Manager prior to the issuance of a Building Permit.



**Jennifer Henning, Planning Director**

4/13/2015

**Date**

TRANSMITTED this 13<sup>th</sup> day of April 2015 to the Contact/Applicant/Owner:

<p>Contact: Andrew Wang 12419 NE 140<sup>th</sup> St Kirkland, WA 98034</p>	<p>Owner/Applicant: Jennifer Zhou 12419 NE 140<sup>th</sup> St Kirkland, WA 98034</p>
---	---

TRANSMITTED this 13<sup>th</sup> day of April 2015 to the Parties of Record:  
None

TRANSMITTED this 13<sup>th</sup> day of April 2015 to the following:

Jennifer Henning, Planning Director  
Steve Lee, Development Engineering Manager  
Vanessa Dolbee, Current Planning Manager  
Fire Marshal  
Renton Reporter

### ***Land Use Action Appeals, Request for Reconsideration, & Expiration***

The Administrative Site Development Plan Review decision will become final if the decisions are not appealed within 14 days of the decision date.

**APPEALS: An appeal of the decision(s) must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680). Appeals must be filed in writing to the Hearing Examiner on or before 5:00 p.m. on April 27, 2015.** Renton Municipal Code Section 4-8-110 governs appeals to the Hearing Examiner. Appeals must be filed in writing together with the \$250.00 application fee to Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall - 7th Floor, (425) 430-6510.

**RECONSIDERATION:** Within 14 days of the decision date, any party may request that a decision be reopened by the Administrator (Decision-maker). The Administrator (Decision-maker) may modify his decision if material evidence not readily discoverable prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the Administrator (Decision-maker) finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal timeframe.

**EXPIRATION:** The Administrative Site Development Plan Review decision will expire two (2) years from the date of decision. A single two (2) year extension may be requested pursuant to RMC 4-9-200.

**THE APPEARANCE OF FAIRNESS DOCTRINE:** provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.

#### **ADVISORY NOTES TO APPLICANT**

The following notes are supplemental information provided in conjunction with the administrative land use action. Because these notes are provided as information only, they are not subject to the appeal process for the land use actions.

Planning:

1. RMC section 4-4-030.C.2 limits hauls hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise

approved by the Development Services Division.

Technical Services:

1. The legal description for the proposed dedication of 1.5 feet needs to include "in Section 4, Township 23 North, Range 5 East, W.M.," following the word "SITUATE." The legal description needs to be incorporated in a formal Deed of Dedication document together with a map exhibit. Each page of the document needs to include page numbers in the form of Page # of # of pages. Please use the City's standard Deed of Dedication template.

Water:

1. All new construction must have a fire hydrant capable of delivering a minimum of 1,000 gpm and must be located within 300 feet of all structures. There is a fire hydrant in the vicinity that may be counted towards the fire protection of this project, but is subject to verification for being within 300 feet of the nearest corner of all buildings.
2. Existing hydrant(s) counted as fire protection will be required to be retrofitted with a 5" quick disconnect storz fitting if not already in place.
3. System development fees for water are based on the size of each domestic water meter that will serve each building. Fee for ¾ inch or 1 inch water meter is \$2,809.00. Fee for a 1 1/2 inch meter is \$14,045.00.
4. Fee for a ¾ inch meter installed by the City is \$ 3,710.00. Fee for a 1 inch meter installed by the City is \$3,770.00. Fee for a 1 1/2 inch meter installed by the City is \$5,330.00.

Sewer:

1. A separate side sewer stub shall be provided to each building. Side sewers shall be a minimum 2% slope.
2. System development charge (SDC) for sewer is based on the size of the domestic meter(s). Sewer fees for a ¾" meter or 1 inch meter is \$2,033.00 per unit. This is payable at the time the utility construction permit is issued.

Surface Water:

1. There is no drainage conveyance system in Jefferson Ave NE.
2. A drainage report dated January 20, 2015 was submitted by The Land Developer's Engineered Solutions A Division of The Land Developer, LLC with the site plan application. Based on the City's flow control map, this site falls within the Flow Control Duration Standard, Existing Conditions. The 0.257 acre site is generally flat and cleared, covered with grass with a few small trees remaining. The site is subject to Full Drainage Review. A revised TIR including an offsite analysis will be required with the civil plan plans at construction permit submittal. There are references to a different project on page 5 and 6 that need to be corrected. A TIR worksheet needs to be included.
3. A geotechnical report dated October 4, 2013 was submitted and prepared by Bergquist Engineering Services with the site plan application. Due to the size of the site (11,325 sq. ft.), one test pit up to 18 inches deep was dug towards the rear of the site. No ground water was encountered. Soil type encountered was medium dense silty sands, sands and gravel. Soil type is native loamy sands. The soil type may support the feasibility of 100 % infiltration onsite. The civil engineer is proposing the use of dispersion as a flow control bmp in the TIR.
4. Surface water system development fee is based on a rate of \$0.540 per square foot of new impervious surface area. Fee is payable prior to issuance of the construction permit.

Transportation:

1. Existing right of way width in Jefferson Ave NE fronting the site is 50 feet. Jefferson Ave NE is classified as a residential access street. To meet the City's complete street standards, half street improvements including a pavement width of 16 feet from the centerline, a new vertical curb, gutter, an 8 foot planter strip, 5 foot sidewalk, and street lighting are required to be constructed in the right of way fronting the site per City code 4 6 060. To build this street section 1 1/2 feet of right of way will be required to be dedicated to the City. It is shown on the plan. Future street section will be a 53 foot right of way.
2. Paving in Jefferson is required to comply with the City of Renton's Trench Restoration and Overlay Requirements.
3. The current transportation impact fee rate is \$1,454.20 per unit for apartments. The transportation impact fee that is current at the time of building permit application will be levied. Payment of the transportation impact fee is due at the time of issuance of the building permit.
4. Street lighting is required in Jefferson. A street lighting plan shall be included with the civil plans at time of construction permit submittal.

5. Vehicle access to the units will be from the 30 foot wide alley located at the west end of the property. A letter dated August 15th, 2014 was sent to Mr. Wang from Chip Vincent, CED Administrator. In that letter a Fee In Lieu in the amount of \$10,000 is required to be paid prior to the issuance of the building permit. This amount is to cover the paving in the alley that abuts the west property boundary of the site.

General Comments:

1. Separate permits and fees for side sewer connection, water meter and storm connection will be required.
2. All construction utility permits for drainage and street improvements will require separate plan submittals. All utility plans shall conform to the Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans.
3. Rockeries or retaining walls greater than 4 feet in height will be require a separate building permit. Structural calculations and plans shall be submitted for review by a licensed engineer. Special Inspection is required.
4. A tree removal and tree retention/protection plan shall be included with the civil plan submittal.

Highland Oasis  
1419 Jefferson Ave NE  
Renton, WA 98056



EXHIBIT 2

RECEIVED

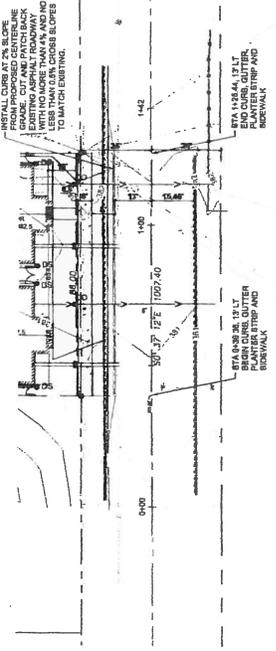
MAR 13 2014

CITY OF RENTON

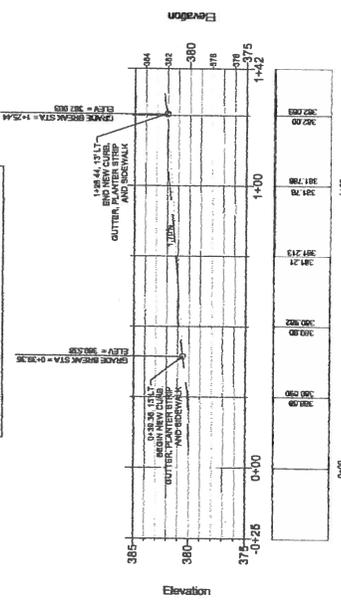




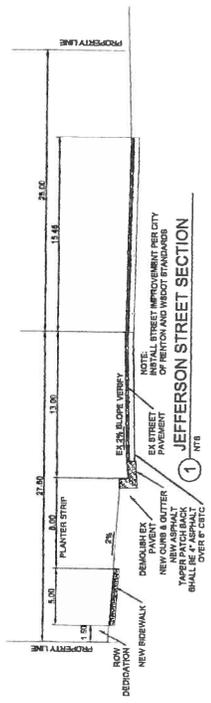
SCALE: 1" = 20 FEET



**HIGHLAND OASIS PROFILE**



VERTICAL SCALE: 1" = 4'  
HORIZONTAL SCALE: 1" = 20'



NOTE: STREET IMPROVEMENTS FOR CITY OF RENTON AND WSDOT STANDARDS SHALL BE 4" ASPHALT OVER 6" CONC.

**RECEIVED**  
MAR 12 2015  
CITY OF RENTON  
PLANNING DIVISION

THE LAND DEVELOPERS ENGINEERED SOLUTION  
P.O. BOX 4420, TUMWATER, WA 98501  
EMAIL: [info@landdevelop.com](mailto:info@landdevelop.com)



DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

**HIGHLAND OASIS DUPLEX & GARAGE  
PLAN & PROFILE**

PROJECT: HIGHLAND OASIS DUPLEX & GARAGE  
1419 JEFFERSON AVE., NE, RENTON, WA 98058  
CLIENT: CHANG WANG  
12419 NE 140th ST, KENTLAND, WA 98034

DRAWN BY: BBA  
DATE: 3-4-2015  
AGENCY NO.: \_\_\_\_\_  
SHEET: 3 OF 3  
JOB NO.: 14-032

THIS DRAWING DOES NOT REPRESENT A RECORD DOCUMENT UNLESS IDENTIFIED BY THE LAND DEVELOPER, LLC. ANY ALTERATIONS TO THE DESIGN SHOWN HEREON MUST BE REVIEWED AND APPROVED BY THE LAND DEVELOPER, LLC.

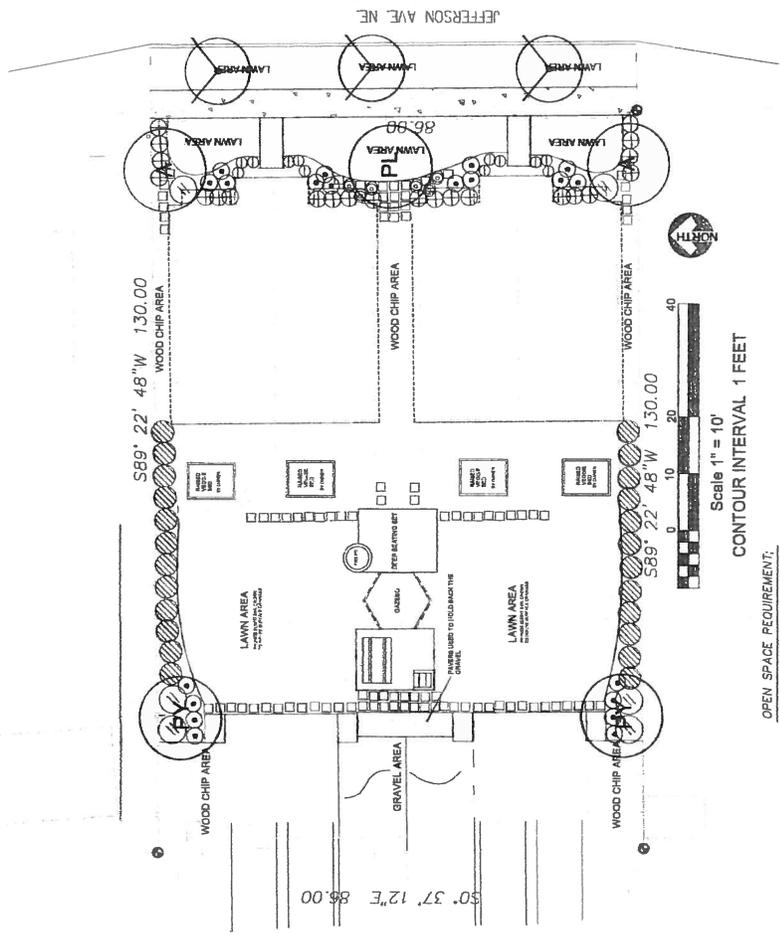
NOTE: THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION, 800-34-5885 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

TOPOGRAPHIC NOTE: THE EXISTING TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS IS BELIEVED TO BE ACCURATE. THIS INFORMATION IS BELIEVED TO BE RELIABLE AND CANNOT ENSURE ITS ACCURACY AND THIS IS FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.



# HIGHLAND OASIS DUPLEXES, RENTON WA.

LOCATED IN SW/4, SW/4 OF SECTION 4, TWP 23N, RGE 5E, W.M.



CONTOUR INTERVAL 1 FEET

- OPEN SPACE REQUIREMENT:  
 NEEDED: 350 SF/UNIT X 4 UNITS = 1400 SF.  
 PROVIDED: 3078 SF.
- PRIVATE YARD  
 NEEDED: 250 SF/UNIT X 4 = 1000SF  
 PROVIDED: 15 X 17.5' = 262.5 SF/UNIT X 4 UNITS = 1050 SF
- COMMON AREA AMENITIES:  
 1. PICNIC BENCHES  
 2. BBQ GRILL  
 DENSITY BONUS AMENITIES:  
 1. GAZEBO  
 1. DEEP SEATING SET  
 1. FIRE PIT  
 1. 4 X PAISED VEGETABLE BEDS

**RECEIVED**

MAR 12 2015

**CITY OF RENTON**  
 PLANNING DIVISION

**PLANTING PLAN**  
**PLANT LEGEND**

**CONTACT**  
 Wang Properties  
 Andrew Wang  
 425-246-9586  
 awangpr@gmail.com

**Owner**  
 Jennifer Zhou

**PROJECT**  
 HIGHLAND OASIS DUPLEXES  
 1419 JEFFERSON AVE. N.E.  
 RENTON, WA. 98056-3115

**DATE**

**REVISIONS**

**SHEET TITLE**

**SCALE**  
 1" = 10'

**DESIGNED BY**  
 F.W. BISHOP

**DATE**  
 11/11/14

**CHECKED BY**  
 JENNIFER ZHOU

**DATE**  
 11/11/14

**SCALE**  
 1" = 10'

**SHEET**  
 1-1

**Landscape Architectural Services**  
**LAS**  
 P.O. Box 1134, Tumwa, WA 98111  
 P: 253-671-2211  
 Email: info@las.com

STATE OF WASHINGTON  
 LICENSED LANDSCAPE ARCHITECT

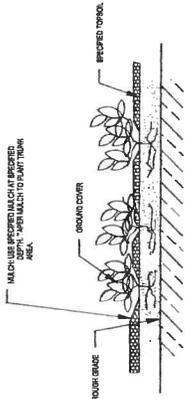
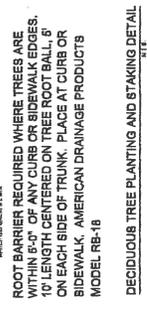
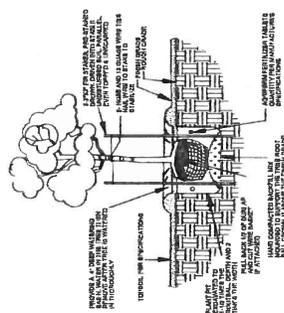
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	ROOT CONDITION
(3)	Fagus sylvatica 'Donyck Purple' Donyck Purple Beech 40' height, 12' spread, deciduous	2" cal	B&B
(2)	Morus domestica 'Fuji' Fuji Fig 17'-20' height, & spread, deciduous zones 4-9	2" cal	BARE ROOT
(1)	Prunus domestica 'Stanley' Plum, Purple Plum 17'-20' height, & spread, deciduous zone 5-9	2" cal	BARE ROOT
(2)	Pyrus pyrifolia 'Chihess Pear' Chinese Pear 17'-20' height, & spread, deciduous zones 4-9	2" cal	BARE ROOT
(23)	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae 12' to 15' height, 4' spread, evergreen	6" height	B&B or Container
(20)	Abelia 'confetti' Confetti variegated Abelia 3' height, 3' spread, evergreen	2 gallon	container
(24)	Raphiolepis umbellata minor Dwarf Yucca Hawthorn 3' height, mounding, evergreen	5 gallon	container
(21)	Calamagrostis acutiflora 'Karl Foerster' Feather reed grass 18' height, grass clumping	5 gallon	container
(10)	Helleborichon sempervivens Blue Dot Grass 18" height, clumping grass	2 gallon	container
(38)	Rosmarinus officinalis 'Huntington carpet' Huntington carpet Rosemary 12 - 16" height, compact evergreen	2 gallon	container
(7)	Verbium minus 'Spring Bouquet' Spring Bouquet 5' to 6' height mounding, evergreen	5 gallon	container

**NO SYMBOL ON PLAN**  
 4" pots  
 Emerald Carpet  
 Common Energy Carpet  
 10" height, spreading evergreen plant at 24" on center  
 within all planting beds.  
 Hydrangea Lawm, (at Owners option to use local sod)  
 5,000 square feet of area

**LAWN AREAS**  
 (28) 18" concrete sleepers, Owners choice  
 wood fence by Owners contractor  
 Provide 2-1/2" the bark mulch to all planting beds.  
 (19) sq. ft.) permeable unit pavers set on 5/8" minus compacted gravel.  
 NOTE: all square footages are approximate and actual counts  
 final counts are the responsibility of the Owner/contractor

## GENERAL PLANTING NOTES

- The landscape contractor shall be responsible for familiarizing themselves with other site improvements prior to starting any work on the project.
- The landscape contractor shall use caution while excavating to avoid disturbing any utility. If utilities are disturbed the contractor shall at once notify the general contractor, owner or anyone that would have interest in the disturbance. The landscape contractor shall call for a complete locate prior to start of work.
- The landscape contractor shall be responsible for computing the correct quantities of plant materials, amounts of materials such as soil, bark and any other required materials and labor etc. needed to complete the project.
- Ground, cover if used, shall be planted in an equilateral triangular spacing pattern at the spacing shown on the plan set materials legend. Where ground covers about a curb, walk or planting bed edge the minimum spacing to the edge is 12" from the center of the plant.
- All sub-grades shall be set by the general contractor to 1/10th of an inch of finish grade less the depth of the specified imported topsoil depth.
- A minimum depth of 4" three way imported topsoil shall be used in all planting areas and lawn areas.
- Rototill all shrub-lawn areas to a depth of 8" except areas that slope and tilling would jeopardised stability.
- Provide a minimum depth of 2-1/2" fine bark mulch in all new shrub beds, keep mulch off plant trunk.
- Fertilize all plantings with agro transplant fertilizer 4-2-2 per the manufacturers specifications.
- Fertilize all plantings with agriform tablets per the manufacturers specifications.
- All plant materials shall conform to the current edition of the A.A.N. standards for nursery stock.
- Any replacements of dead or damaged stock shall be completed at once.
- The landscape contractor shall maintain the landscape during and through construction and until final acceptance.
- The landscape contractor shall guarantee and warrantee all materials and workmanship for a period of one year and/or one complete growing season.
- The property owner shall water all areas after acceptance from the landscape contractor and through the one year and one complete growing season of all plant materials.
- The common area back yard will be hand watered by the residents.



DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
PROJECT: HIGHLAND OASIS DUPLEXES  
1419 JEFFERSON AVE. N.E.  
RENTON, WA. 98056-3115

Owner: Jennifer Zhou  
Contact: Wang Properties  
Andrew Wang  
425-246-9566  
awangpro@gmail.com

SHEET TITLE: PLANTING DETAILS & NOTES

F.W. Number: \_\_\_\_\_  
ISSUED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
AS NOTED: \_\_\_\_\_  
EOR: \_\_\_\_\_  
SHEET: L-2

STATE OF WASHINGTON  
LANDSCAPE ARCHITECT  
KIMBERLY M. KIRBY  
LICENSE NO. 235  
exp. 1-30-2017

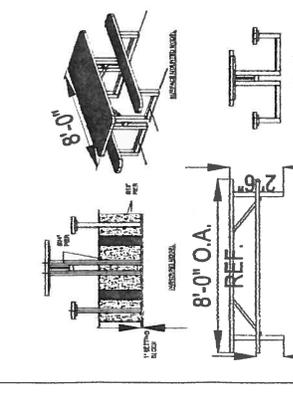
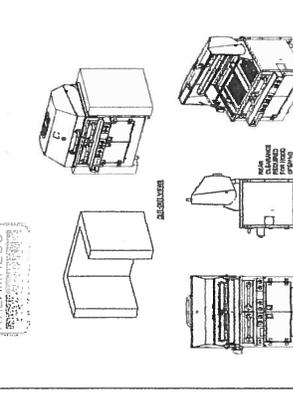
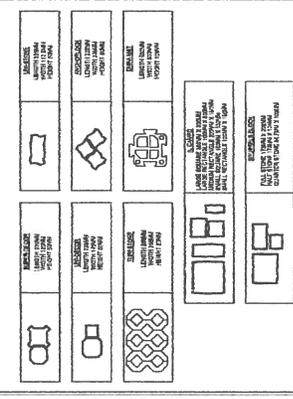
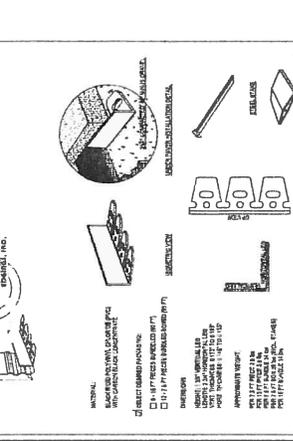
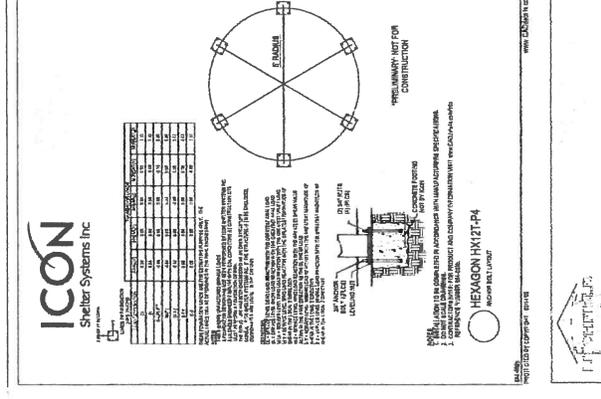
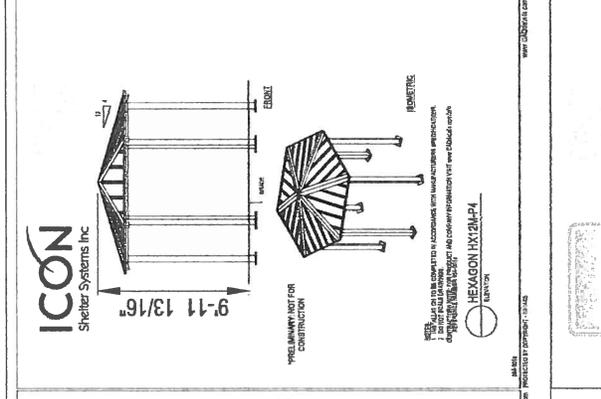
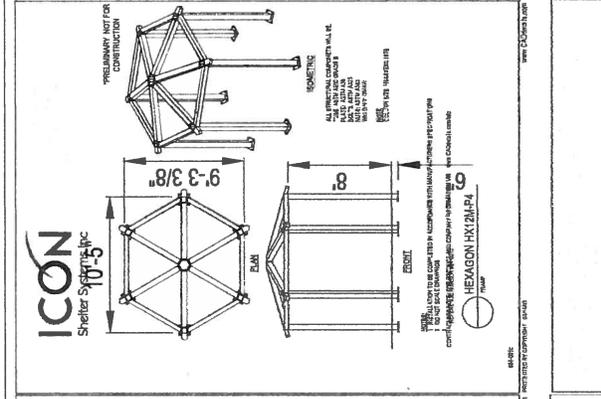
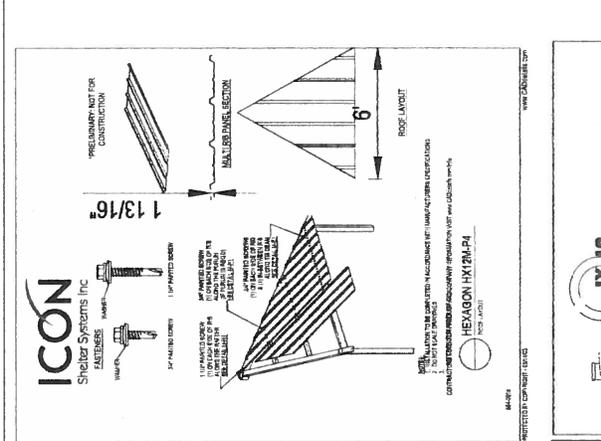


Landscape Architectural Services  
LAS  
P.O. Box 1734  
Renton, WA 98111  
P: 252-471-2271  
www.lasarchitect.com

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MAR 12 2015  
CITY OF RENTON  
PLANNING DIVISION

**LAS Landscape Architectural Services**  
 P.O. Box 11534, Renton, WA 98111  
 P: 206-871-2211  
 email: info@lasarch.com

STATE OF WASHINGTON  
 LICENSED LANDSCAPE ARCHITECT  
 FRANK WILLIAM BRISSETT  
 LICENSE NO. 259  
 exp. 1-20-2017

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NOTE: OWNER RESERVES THE RIGHT TO SELECT ALTERNATIVE MANUFACTURERS, MATERIALS AND PRODUCTS

UNLOCK PAVERS PAGE TWO

BRILLS

SURVIVOR SERIES TABLES





ARCHITECTS  
 a professional corporation  
 8585 W. Koloa Street  
 Star, Idaho 83669  
 Tel: 208-318-8452  
 jfarch@kohl.com  
 JEFF FOSTER, P.A.  
 LEED AP BD+C NCARB

REGISTERED ARCHITECT  
 JEFFREY FOSTER  
 STATE OF WASHINGTON  
 6877  
 2/20/15

FOR:  
**Jennifer Zhou**  
 Highland Oasis Duplexes  
 LOCATED AT:  
 1419 JEFFERSON AVE. NE  
 RENTON, WA, 98056

Contact:  
 Jennifer Zhou  
 425-246-8549  
 awzhou@gmail.com

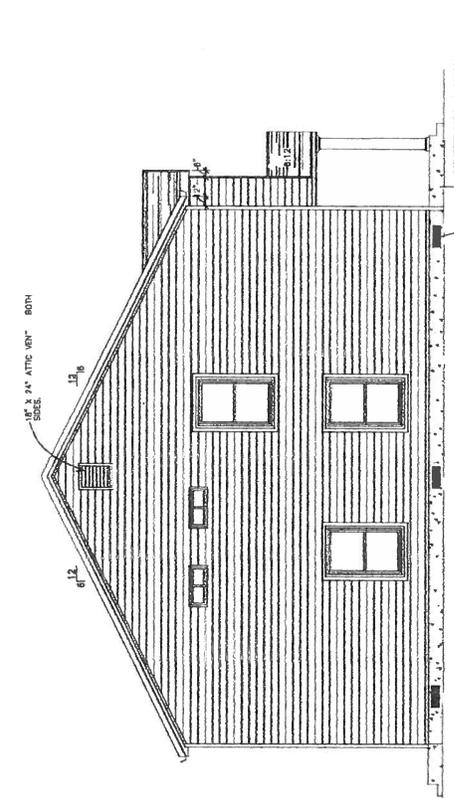
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 CITY SUBMITAL 02-26-15

ELEVATIONS

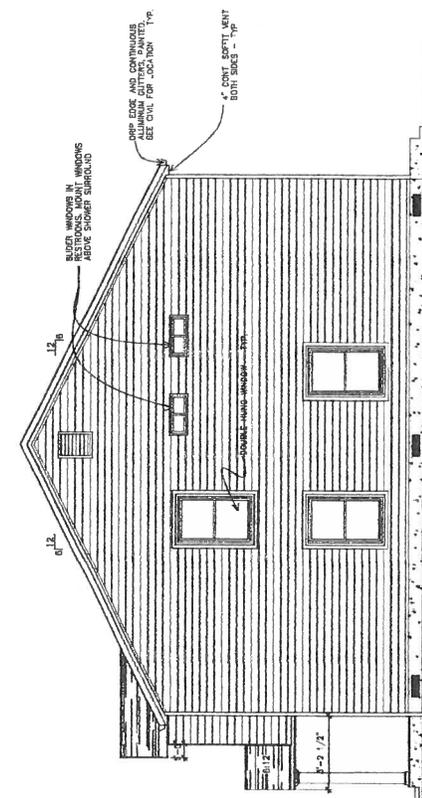
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Start Date: 01-13-15  
 Job Number: 14519

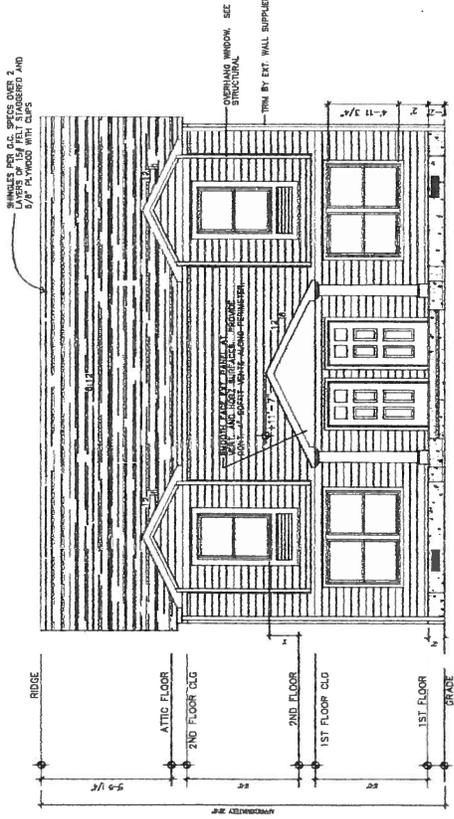
SEE SHEET FOR FULLY ANNOTATED



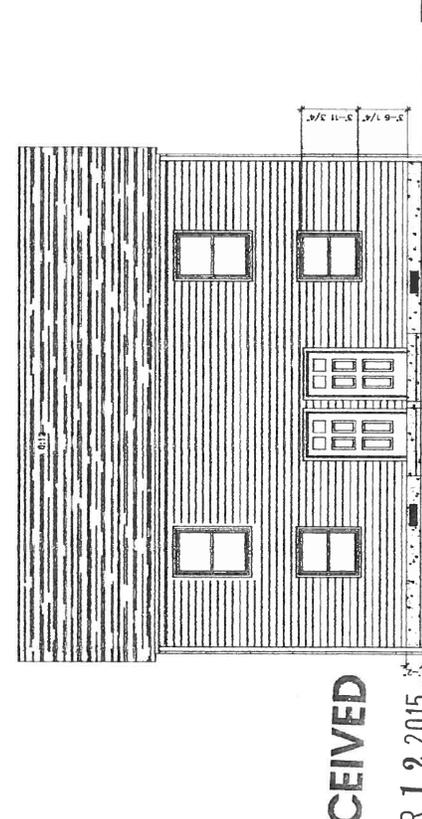
SOUTH ELEVATION  
 1/4" = 1'-0"



NORTH ELEVATION  
 1/4" = 1'-0"



EAST ELEVATION  
 1/4" = 1'-0"



WEST ELEVATION  
 1/4" = 1'-0"

**RECEIVED**  
 MAR 12 2015  
 CITY OF RENTON  
 PLANNING DIVISION

8385 W. Rialta Street  
 Jeff Foster, AIA  
 JTF ARCHITECTS  
 a professional corporation  
 Jeff Foster, AIA  
 jfoster@jtfarch.com  
 Tel: 202-318-4452  
 Fax: 202-318-5389  
 1530 W. Birch Mews

0577 REGISTERED ARCHITECT  
 JEFF FOSTER  
 STATE OF WASHINGTON

FOR:  
**Jennifer Zhou**  
 Highland Oasis Duplexes  
 LOCATED AT:  
 1419 JEFFERSON AVE. NE  
 RENTON, WA. 98056

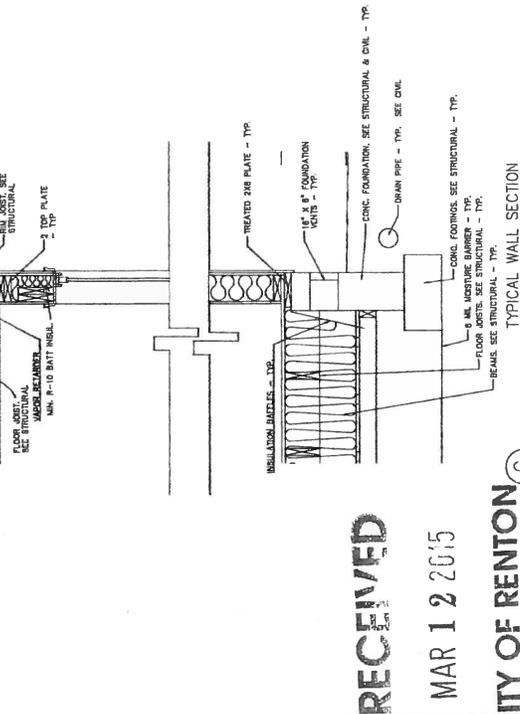
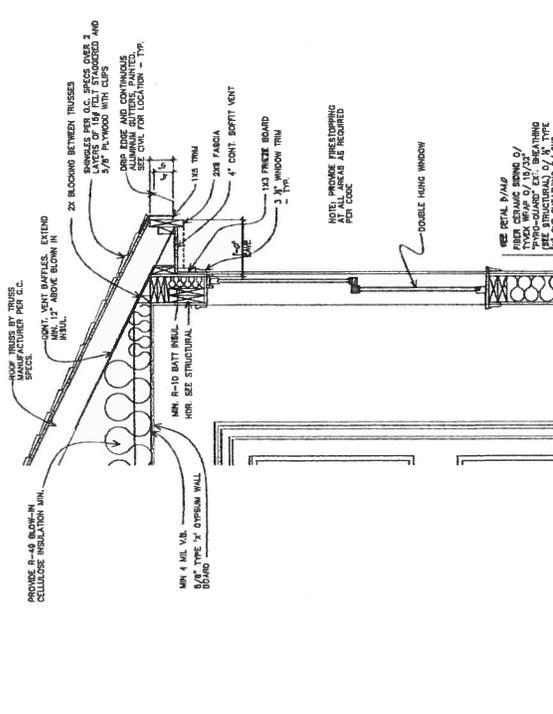
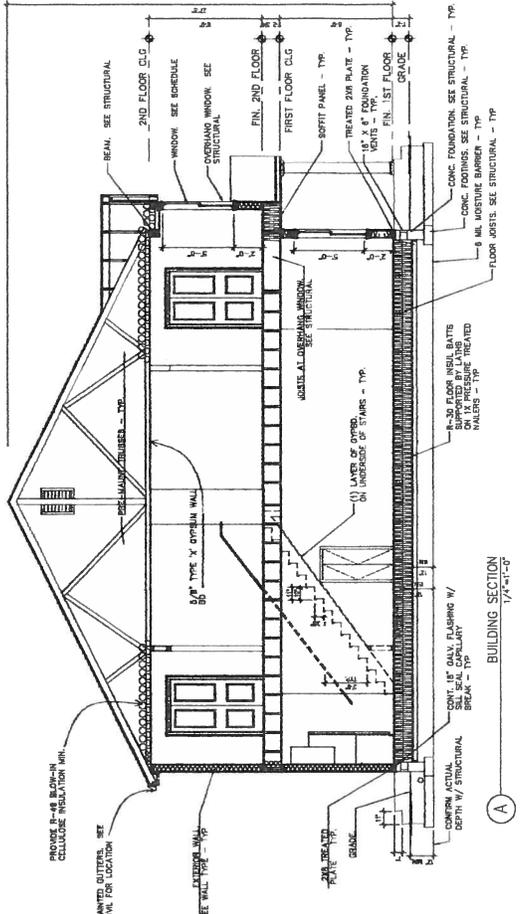
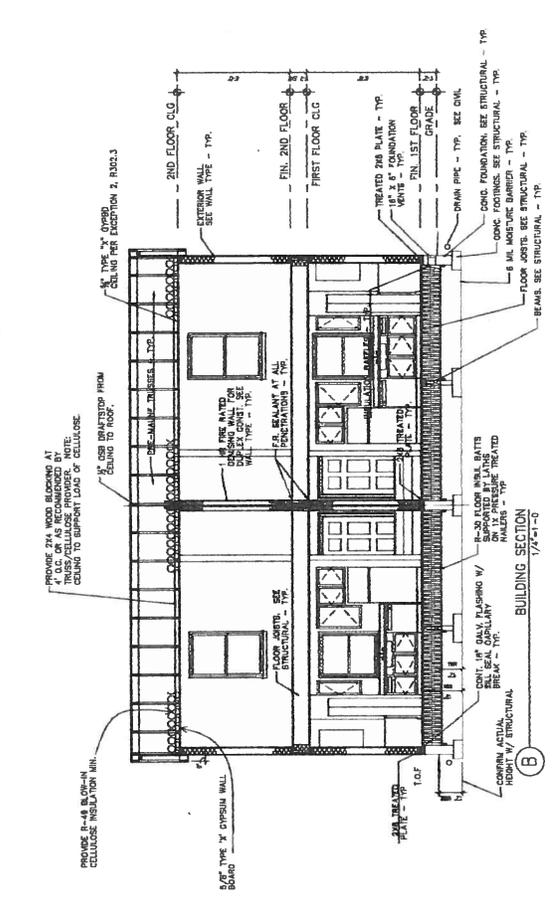
Contact:  
 Andrew Wang  
 425-246-8666  
 awangpr@gmail.com

Revisions:  
 No. Description Date  
 COORDINATION 01-13-15  
 CITY SUBMITTAL 02-03-15

BUILDING & WALL SECTION

**A3.0**

Start Date: 01-13-15  
 Job Number: 14519



**RECEIVED**  
 MAR 12 2015  
 CITY OF RENTON  
 PLANNING DIVISION

**REGISTERED ARCHITECT**  
**JEFFREY FOSTER**  
 STATE OF WASHINGTON  
 No. 20015

**JTF ARCHITECTS**  
 8585 W. Rialta Street  
 Ste 200  
 Renton, WA 98056  
 Tel: 206-851-4452  
 Fax: 206-851-4453  
 jfo@jtfarch.com  
 jfo@jtfarch.com

**FOR:**  
**Jennifer Zhou**  
 Highland Oasis Duplexes  
 LOCATED AT:  
 1419 JEFFERSON AVE. NE  
 RENTON, WA, 98056

**Revisions:**  
 No. Description Date  
 1. CORRECTION 11-23-15  
 CITY SUBMITTAL 12-28-15

**CONTACT:**  
 Andrew Wang  
 425-248-8986  
 awang@jtfarch.com

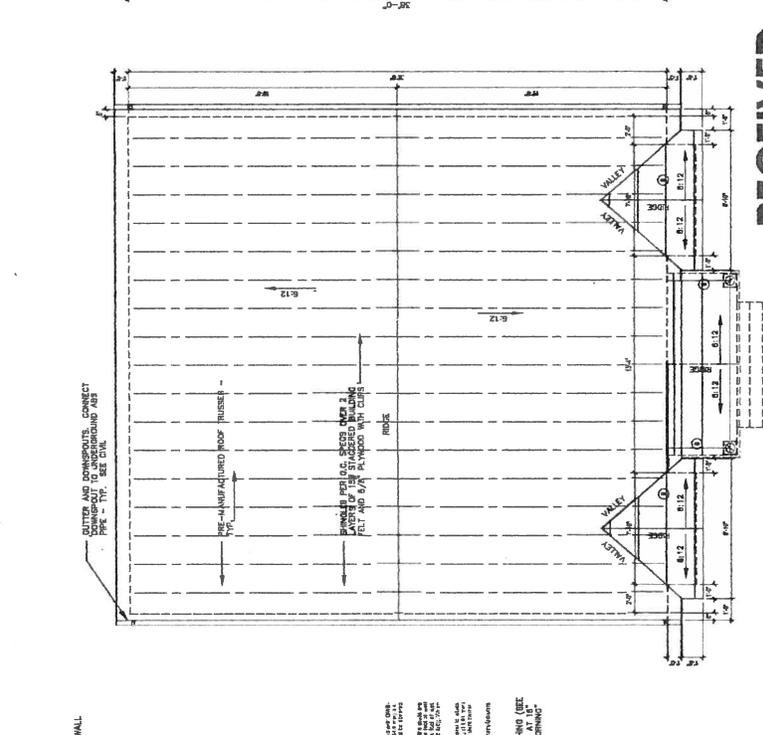
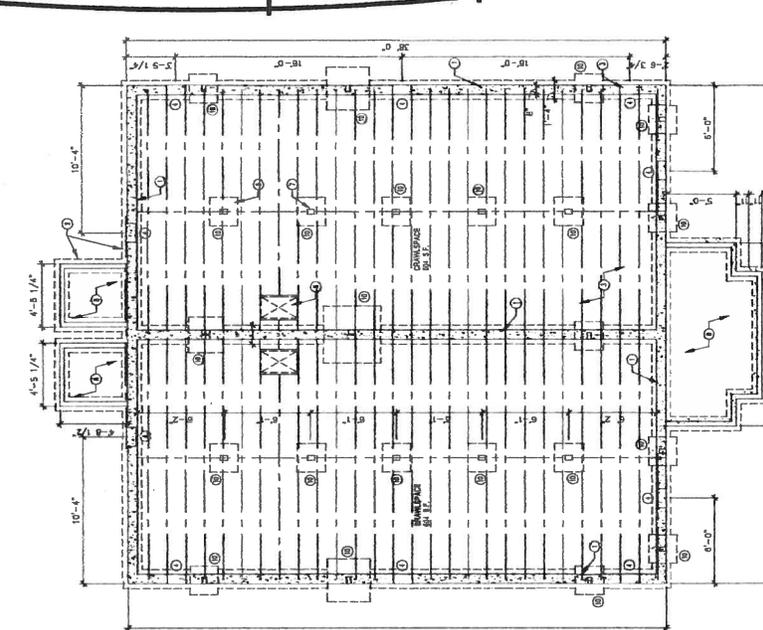
**ROOF & FOUNDATION PLAN AND DETAILS**

**A4.0**

Sheet Date: 04-18-15  
 Job Number: 14519

**CONSTRUCTION PLAN KEY NOTES**

- CONCRETE FOUNDATION - TYP. SEE STRUCTURAL.
- CONT. CONCRETE FLOORING - TYP. SEE STRUCTURAL.
- FLOOR JOISTS - TYP. SEE STRUCTURAL.
- 4" x 12" ALUM. VOTER W/ SLIDES ON LOWER. ADJUST W/ FLOOR JOISTS - TYP.
- CONCRETE FOOTINGS - TYP. SEE STRUCTURAL.
- 4" x 12" ALUM. VOTER W/ SLIDES ON LOWER. ADJUST W/ FLOOR JOISTS - TYP.
- PRESSURE TREATED WOOD POSTS (FOR DECK) - TYP. SEE STRUCTURAL.
- 4" TYP. CONC. BRIDGE AND STAIRS - TYP. HOLD SLAB DOWN 1" TO 1.5" BELOW JOIST OVERHEADS AND SLIGHTLY AWAY FROM BUILDING. SEE DETAIL.
- BEHAL. SEE STRUCTURAL.
- CONCRETE FOOTINGS - TYP. COORDINATE EXACT SIZE AND LOCATION W/ STRUCTURAL.



**REVISIONS**

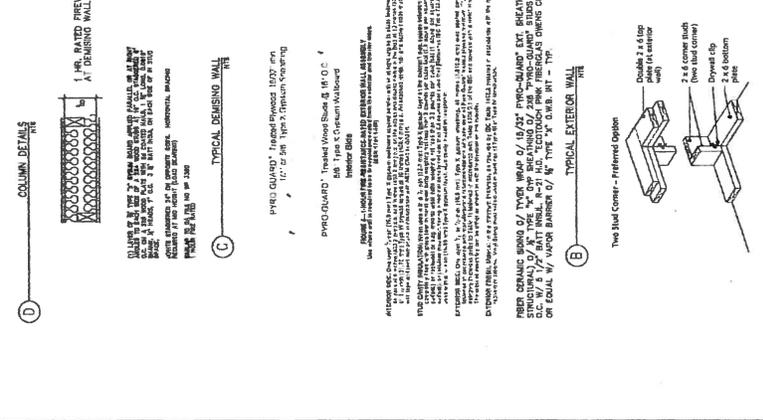
No.	Description	Date
1	CORRECTION	11-23-15
2	CITY SUBMITTAL	12-28-15

**REVISIONS**

No.	Description	Date
1	CORRECTION	11-23-15
2	CITY SUBMITTAL	12-28-15

**REVISIONS**

No.	Description	Date
1	CORRECTION	11-23-15
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**REVISIONS**

1. CORRECTION 11-23-15  
 CITY SUBMITTAL 12-28-15

**REVISIONS**

1. CORRECTION 11-23-15  
 CITY SUBMITTAL 12-28-15

**REVISIONS**

1. CORRECTION 11-23-15  
 CITY SUBMITTAL 12-28-15

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**MAR 12 2015**

**CITY OF RENTON**  
 PLANNING DIVISION



JTF ARCHITECTS  
 8585 W. Rialta Street  
 Ste. 10800 83659  
 Seattle, WA 98148  
 Tel: 206-318-4522  
 jtfarch@jtfarch.com  
 Jeff Foster, AIA  
 Jeff Foster, AIA

REGISTERED ARCHITECT  
 JEFFREY FOSTER  
 STATE OF WASHINGTON  
 2/20/15

FOR  
 Jennifer Zhou  
 Highland Oasis Duplexes  
 LOCATED AT:  
 1419 JEFFERSON AVE. NE  
 RENTON, WA 98056

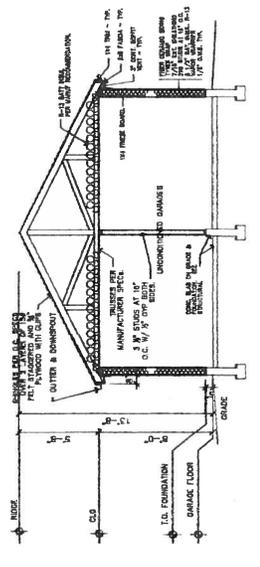
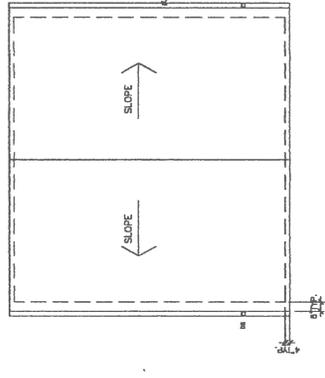
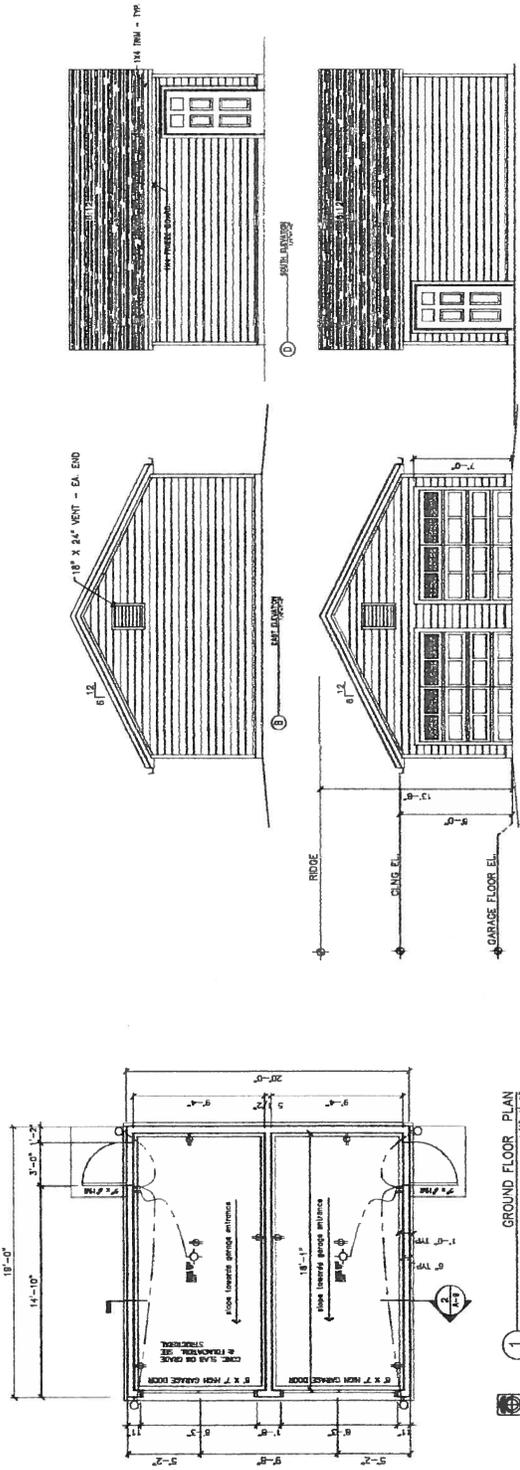
Contact:  
 Andrew Wang  
 425-246-8568  
 awangpro@gmail.com

Revisions:  
 No. Description Date  
 1 COORDINATION 01-13-15  
 2 CITY SUBMITTAL 02-23-15

GARAGE

A9.0

Start Date: 01-13-15  
 Job Number: 14519



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MAR 12 2015

CITY OF RENTON  
 PLANNING DIVISION

**EXHIBIT 6**

Entire Document  
Available Upon Request

**TECHNICAL INFORMATION REPORT**

of

**HIGHLAND OASIS DUPLEXES**  
1419 Jefferson Avenue NE  
Renton, WA

for

Andrew Wang  
12419 NE 140<sup>th</sup> Street  
Kirkland, WA 98034

by

**THE LAND DEVELOPER'S  
ENGINEERED SOLUTION**  
A Division of **THE LAND DEVELOPER, LLC**

**Erik B. Ainsworth, PE**  
PO Box 4420  
Tumwater, WA 98501  
(360) 250-3973



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MAR 12 2015  
CITY OF RENTON  
PLANNING DIVISION

January 20, 2015

# Bergquist Engineering Serv

27207 8th Avenue S  
Des Moines, Washington 98198  
Phone: 253.941.9399 • Fax 253.941.9499 • E-mail: soilsengir

P. O. B

Des Moines, W

October 4, 201

**EXHIBIT 7**

Entire Document  
Available Upon Request

Mr. Andrew Wang  
12419 NE 140<sup>th</sup> Street  
Kirkland, Washington 98034

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MAR 13 2014

~~MAR 31 2014~~

CITY OF RENTON CITY OF RENTON  
PLANNING DIVISION PLANNING DIVISION

Re: Subsurface Exploration, and  
Geotechnical Engineering Services  
Two Duplex Residences  
1419 Jefferson Avenue NE  
Renton, Washington  
King Co. Tax Parcel No. 7227801625  
BES Project No.: 201338-1

Dear Andrew:

We are pleased to provide this report of our subsurface exploration and geotechnical engineering properties of the subsurface soils for the planned infiltration trenches for the referenced project. This work was performed in accordance with our proposal number 1182013 dated June 12, 2013, which you authorized on September 3, 2013.

**PROJECT DESCRIPTION:** The referenced property will be developed with two, residential duplexes. According to Andy Rykels, PE of Rykels Engineering Group, Inc., stormwater will be dispersed by sheet flow.

**SCOPE OF WORK:** Bergquist Engineering Services excavated one test pit to a depth of about eight (8) feet below the existing grade. The test pit was be excavated in a

Denis Law  
Mayor

# City of Renton

**EXHIBIT 8**

Department of Community and Economic Development  
C.E. "Chip" Vincent, Administrator

August 15, 2014

Andrew Wang  
12419 NE 140th St  
Kirkland, WA 98034  
via email: [awangpro@gmail.com](mailto:awangpro@gmail.com)

**RE: Highlands Oasis, 1419 and 1421 Jefferson Ave NE (LUA14-000335, SA-A)**

Dear Mr. Wang:

Thank you for meeting with me last week to discuss the items requiring resolution in order for you to move forward with completing revisions needed to complete the Site Plan Review for the Highlands Oasis project. This letter summarizes the items we discussed and provides direction for you to rely on in order to proceed with revisions and refinements.

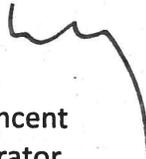
1. Garage Setbacks from the Alley. It is expected that vehicle access will occur from the alley and that parking will occur off of the alley on the site. Please note that we will allow the garages to be set back 5 feet from the property line. However, if you want parking in front of the garage, then the garages would need to be setback 20 feet from the rear property line.
2. Fee-in-Lieu Payment for Alley. A fee-in-lieu payment in the amount of \$10,000.00 will be required to be submitted to the City of Renton prior to the issuance of the building permits in order to offset the cost of the City of Renton paving that portion of the alley that abuts the west property boundary of the site.
3. Building Occupancy Related to Alley Paving. Occupancy of the new structures will be allowed provided all other life/safety issues and conditions of approval are complied with, regardless of the timing for the installation of paving in the alley.
4. Bonus Density Site Amenities. Pending approval of the landscaping plan, site design elements, and other components being evaluated as part of the Site Plan Review process, the City will accept the following components: a pea patch with raised beds and spa with a gazebo as sufficient to meet the Density Bonus Review feature requirements for "Active common recreation amenities such as sports courts, recreation center, pool, spa/Jacuzzi." Per RMC 4-8-120D12, the

Landscaping Plan submitted with the Site Plan application shall be "A fully dimensioned plan, prepared by a landscape architect registered in the State of Washington, a certified nurseryman, or other similarly qualified professional ..."

5. Underground Utilities. We are still in discussions regarding your requested variance from the utility undergrounding requirements and will provide you with that decision within two weeks.

If you have questions regarding this letter, please contact Jennifer Henning, Planning Director, at 425-430-7286.

Sincerely,

C.A. Vincent  for

C.E. "Chip" Vincent  
CED Administrator

cc: Jennifer Henning, Planning Director  
Vanessa Dolbee, Current Planning Manager  
Steve Lee, Development Engineering Manager  
Jill Ding, Senior Planner  
Jan Illian, Plan Reviewer